



## ELECTORAL AREA E/ WEST BOUNDARY – BIG WHITE ADVISORY PLANNING COMMISSION

**Tuesday, August 6, 2024 – 5:00 pm**  
**Via Teams:**

[Join the meeting now](#)

Meeting ID: 288 813 385 857

Passcode: q8C2XR

Or call in [+1 647-794-5571](tel:+16477945571), [537315137#](tel:+16477945571)

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1. **Call to Order**

2. **Land Acknowledgement**

In the spirit of respect, truth and reconciliation, we honour and thank the Indigenous Peoples on whose traditional and unceded lands we operate.

3. **Consideration of the Agenda (additions/deletions)**

**August 6, 2024**

**Recommendation:** That the August 6, 2024 Electoral Area E/ West Boundary-Big White Advisory Planning Commission agenda be approved.

4. **Draft Minutes**

**July 2, 2024**

Recommendation: That the minutes of the July 2, 2024 Electoral Area E/ West Boundary – Big White Advisory Planning Commission meeting be adopted.

5. **Delegations**

6. **Updates to Applications and Referrals**

7. **New Business**

**A. Anpen Holdings**

Re: Development Permit

RDKB File: BW-4270-10293.278 / 2024-044

**B. 1342246 BC Ltd.**

Re: Development Permit Amendment

RDKB File: BW-4222-07500.001 / 2024-066

**C. Cloutier, Deborah and Michael**

Re: Development Variance Permit

RDKB File: BW-4222-07500.715 / 2024-068

**D. Cloutier, Deborah and Michael**

Re: Development Permit Amendment

RDKB File: BW-4222-07500.715 / 2024-069

**8. For Information**

**A. Penalty for Burning**

Re: RDKB Staff Response

RDKB File: 6440

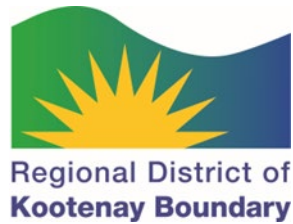
**B. RDKB**

Re: APC Guide – Updates

RDKB File: 0360-01

**9. For Discussion**

**10. Adjournment**



**Electoral Area E/ West Boundary – Big White  
Advisory Planning Commission  
MINUTES**

Monday, July 2, 2024  
Via Teams

**Present:**

Carla Berrie, Chair  
John LeBrun, Secretary  
Gordon Roberson  
Director Sharen Gibbs

**Absent:**

Mike Figurski, Vice-Chair  
Paul Sulyma  
Anna Byrne

**RDKB Staff Present:**

**Guest(s) Present:** Dan Beauac for Lot 5.  
Ron Hickey for lot 7.

**1. Call to Order**

The meeting was called to order at 1704.

**2. Land Acknowledgement**

In the spirit of respect, truth and reconciliation, we honour and thank the Indigenous Peoples on whose traditional and unceded lands we operate.

**3. Adoption of Agenda**

**Recommendation:** That the July 2, 2024 Electoral Area E/ West Boundary – Big White Advisory Planning Commission agenda be adopted as presented.

**CARRIED**

**4. Adoption of Minutes**

**Recommendation:** That the June 2, 2024 Electoral E/ West Boundary – Big White Advisory Planning Commission discussion be adopted as presented.

**CARRIED**

5. **Delegations**
6. **Updates to Applications and Referrals**
7. **New Business**

**A. 0980131 BC LTD.**

RE: Development Permit

RDKB File: BW-4247-07914.105/2024-030 (Lot 5).

**Discussion/Observations:**

1. As a condition of approval all construction material be required to be removed from the site or chipped and that none on the residue to be allowed to be burned on site.
2. The developer will relook at the design of the south side of the building. As this is the first structure the people see as they drive into Big White it was thought that the design of the building was almost "barn" like.

**Recommendation:**

It was moved, seconded and resolved that the APC recommends to the Regional District that RDKB File, BW-4247-07914.101/2024-030 Lot (5) be Supported with the vote of 2 and one-member abstaining.

**B. 0980131 BC LTD**

RE: Development Permit

RDKB File: BW-4247-07014.107/2024-029 (Lot 7)

**Discussion/Observation:**

As a condition of approval all construction material be required to be removed from the site or chipped and that none on the residue to be allowed to be burned on site.

**Recommendation:**

It was moved, seconded and resolved that the APC recommends to the Regional District that RDKB File, BW-4247-07014.107/2024-029 {Lot 7} be Supported with the above comment

**C. Acorn Alpine Resorts**

RE: Development Permit

RDKB Fie: BW-4258/2024-049



**Discussion/Observation:**

As a condition of approval all construction material be required to be removed from the site or chipped and that none on the residue to be allowed to be burned on site.

**Recommendation:**

It was moved, seconded and resolved that the APC recommends to the Regional District that RDKB File, BW-4258/2024-049 be

Supported with the above comment

**D. Wilson, Jennifer and Joshua**

Re: Development Permit

RDKB File: BW-4222-07500.820/2024-055

**Discussion/Observation:**

As a condition of approval all construction material be required to be removed from the site or chipped and that none on the residue to be allowed to be burned on site.

**Recommendation:**

It was moved, seconded and resolved that the APC recommends to the Regional District that RDKB File, BW-4258/2024-049 be

Supported with the above comment

**8. For Information**

- A. Gordon Roberson was appointed to the Big White APC.
- B. The Big White OCP will be back on track for late in July.

**9. Discussion****10. Adjournment**

**MOVED** that the meeting be adjourned at 1744.



# Electoral Area E/ West Boundary-Big White Advisory Planning Commission (APC) Staff Report

<b>RE:</b>	Development Permit – Anpen Holdings (808-24D)		
<b>Date:</b>	August 6, 2024	<b>File #:</b>	2024-044 BW-4270-10293.278
<b>To:</b>	Members of the Electoral Area E/ West Boundary - Big White APC		
<b>From:</b>	Jordan Hallam, Planner		

## Issue Introduction

We received an application for a Commercial and Multiple Family and Alpine Environmentally Sensitive Landscape Reclamation development permit from Carolina van den Berg of Bluegreen Architecture on behalf of Anpen Holdings Corp. for an unaddressed lot on Black Forest Way, Big White Mountain, Electoral Area E/ West Boundary (*see Attachments*).

Property Information	
<b>Owner(s):</b>	Anpen Holdings Holdings Corp.
<b>Agent:</b>	Carolina van den Berg of Bluegreen Architecture
<b>Location:</b>	No Address (Access from Black Forest Way)
<b>Electoral Area:</b>	Electoral Area E/ West Boundary
<b>Legal Description(s):</b>	District Lot 4270, SDYD
<b>Area:</b>	0.439ha (1.087ac)
<b>Current Use(s):</b>	Vacant
Land Use Bylaws	
<b>OCP No. 1125:</b>	Medium Density Residential
<b>DP Area:</b>	Alpine Environmentally Sensitive/ Commercial and Multiple Family
<b>Zoning No. 1166:</b>	Intermediate Density Residential/ Commercial (R4A)
Other	
<b>ALR:</b>	Outside ALR
<b>Waterfront/Floodplain:</b>	Not Mapped
<b>Water Service Area:</b>	Big White Utilities
<b>Sewer Service Area:</b>	Big White Utilities
<b>Planning Agreement Areas:</b>	N/A

## History / Background Information

The subject property is located approximately 0.26km north of the Happy Valley Day Lodge at Big White Mountain in Electoral Area E/ West Boundary. It is designated as Medium Density Residential in Big White Official Community Plan Bylaw No. 1125 and is zoned Intermediate Density Residential/ Commercial (R4A) in Big White Zoning Bylaw No. 1166, 2001. The parcel is accessed from Black Forest Way, and the parcel is currently vacant (*See Attachment #2-Subject Property Map*).

To the north lies Big White Road and Black Forest Road. To the east lies Black Forest Road and vacant land. To the south lies vacant land and a ski run. To the west lies Big White Road (*See Attachment #1-Site Location Map*).

The property is within the Commercial and Multiple Family Development Permit Area and is within the Alpine Environmentally Sensitive Landscape Reclamation Development Permit Area.

In February 2024, the RDKB received a referral from the Ministry of Transportation and Infrastructure (MOTI) for a two (2) lot conventional subdivision on the subject parcel. The proposed development is to be located on the proposed Lot 1 on the eastern side of the existing parcel (*See Attachment #3-Applicant's Submission Package*).

## Proposal

The applicant is requesting an Alpine Environmentally Sensitive Landscape Reclamation and Multiple Family development permit, which is required prior to constructing two (2) two-family dwellings, each three storeys in height. Each dwelling unit contains four (4) bedrooms.

In support of the application, the applicant has provided a rationale letter, landscape plan, construction elevations, floor plans, a servicing plan with written plans for snow management, erosion and sediment control plan, and a drainage plan (*See Attachment #3- Applicant's Submission Package*).

## Implications

### ***Alpine Environmentally Sensitive Landscape Reclamation Development Permit Guidelines***

#### *Landscaping*

The submitted landscape plan demonstrates that the driveway and parking areas will be covered in asphalt. In the area immediately adjacent to the two (2) proposed buildings, the applicant's landscape plan shows that non combustible landscaping will be used. This includes gravel and rocks, pavers, brick, rock features, and raised rock gardens. Beyond 1.5m from the

buildings, the landscape plan includes trees and shrubs included in the list of approved vegetation as found in the "Guide for Development Permit Applications – Big White Ski Resort". These plantings include Kinnickinnick, Shrubby Cinquefoil, Yellow Columbine, Arctic Lupin, and Western Columbine. No bark mulch or coniferous trees are proposed. All areas are to be reclaimed after construction has been completed.

### ***Commercial & Multiple Family Development Permit Guidelines***

#### ***Access & Loading Areas***

The parcel will be accessed from one driveway off Black Forest Way providing practical access. There are eight (8) parking spaces being proposed for the development which meets the minimum parking requirements of the Big White Zoning Bylaw. Covered parking is not required for this development. The buildings have two (2) dwelling units each, and the Zoning Bylaw only requires covered parking only when buildings contain three or more units (Big White Zoning Bylaw Section 317.6).

The Big White Fire Department has provided the following comments in relation to this proposal:

1. Ensure that the hammer head turnaround space is big enough to accommodate our largest apparatus while also accommodating for snow storage and loading.
2. The use of BC FireSmart materials is heavily encouraged for building siding and roofs. It is discouraged to use combustible wood products for siding, such as Cedar, due to its combustibility.

Staff is working with the applicant to ensure turning radius is achievable.

#### ***Drainage and Erosion***

The majority of the parcel is sloped going from the northwestern edge near Black Forest Way at the front of the parcel towards the rear of the property abutting Black Forest Way. A stormwater management plan, and a erosion and sediment control plan has been provided by Aplin & Martin Consultants Ltd, stamped by a professional engineer.

The submitted stormwater management and drainage plans meets the intent of the OCP guidelines by addressing how water will be directed through the site, and how it will be stored. The plans show a storm storage tank to hold any surface water on the site and how water will be properly drained.

#### ***Snow Management***

Staff are currently working with the applicant to revise their drawings to meet the OCP guidelines for snow management to ensure that the proposal effectively mitigates snow shedding from pedestrians and property.

An updated letter from the applicant, stamped by a Professional Engineer or Architect, was also requested providing details of the roof system and its ability to hold snow and prevent snow shedding.

#### *General Building Form*

Entry ways are covered to protect pedestrians from snow and other elements. Decks are proposed on the lower two floors of the development, with both decks being covered and protected from snow and ice build up. Large windows are proposed on all sides of the development, with the most windows proposed on the south side of the development.

#### *Roof Form*

Staff are currently working with the applicant to ensure that the roof form adheres to the guidelines in the OCP including retaining snow and providing roof overhangs.

#### *Exterior Finish*

The design of the proposed development includes various colours and materials to break up the massing adhering to the guidelines in the OCP. Materials include weatherboard cladding, stone, and some wood features.

#### *Skier Access*

Skier access is available to the proposed buildings via a ski run (Happy Valley Way) to the south and one to the east that goes to the Happy Valley Day Lodge and the lower parking lot of Big White.

#### *Zoning Considerations*

A full review of the proposed development will occur at building permit stage.

#### *House Numbers*

Guidelines require that house numbers must be displayed at all times. The agent does not directly address this within the proposal, but it will be included as part of the conditions within the Development Permit. House numbers have not yet been assigned, as this is done at building permit stage.

## **Attachments**

- 1-Site Location Map
- 2-Subject Property Map
- 3-Applicant's Submission Package



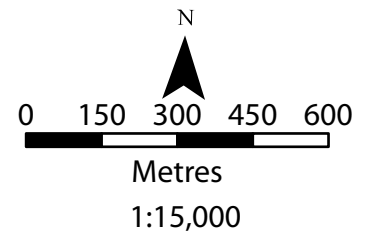


Regional District of  
Kootenay Boundary

Map Date: 2024-06-06

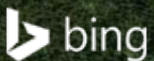
# Site Location Map

DL 4270,  
SDYD



Subject Property:  
District Lot 4270

Big White



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202-843 Rossland Ave, Trail BC V1R 4S8 | T: 250.368.9148 | T/F: 1.800.355.7352 | [rdkb.com](http://rdkb.com)

Document Path: P:\PD\3200 Properties Titled\07 Area E (Big White)\BW-4270-10293.278\2024-044 DP Application\Mapping\2024-06-06\_SubjectPropertyMaps\_BW-4270-10293.278.aprx



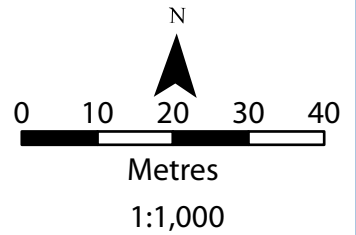


Regional District of  
Kootenay Boundary

Map Date: 2024-06-06

# Subject Property Map

DL 4270,  
SDYD



202-843 Rossland Ave, Trail BC V1R 4S8 | T: 250.368.9148 | T/F: 1.800.355.7352 | [rdkb.com](http://rdkb.com)

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Alair Homes Okanagan  
460 Doyle Ave #106  
Kelowna BC  
V1Y 4R1  
(250) 616-0581

May 15th , 2024

Proposed Development:  
Black Forest Road  
Big White, BC  
LOT 4270  
PLAN NUMBER EPC 1834 SDYD

Attn Regional District of Kootenay Boundary,

Thank you for taking the time to review our development permit landscape plan.

We will not have to remove any trees for the footprint of the proposed dwelling due to the current state of the property . We intend to remediate the area around the new buildings with various native ground and tall shrubs to comply with fire smart design implementation and to mitigate any erosion to the newly exposed ground. A 1.5m non-combustible landscape border composed of decomposed granite, gravel, rocks, pavers and bricks, rock features and concrete patios, is proposed around the entire footprint of the dwelling. This is intended to ensure the protection of the building structure in the case of wildfires as well as to minimize the impacts of erosion and runoff.

Topsoil and vegetation in any undisturbed areas of the lot will be left as found where possible. The front property landscaping will consist of a access roadway and a level planting area . These planted areas will contain mixed native shrubs in keeping with the surrounding area and will have drip irrigation to help with the propagation of the newly planted shrubs for the first few seasons after planting.

The front of the property will consist of a hearty native shrubs planted sparingly near the rear roads and driveways to help with erosion control and runoff. These mixed native shrubs including, Kinnickinnick, Shrubby Cinquefoil, Creeping Oregon Grape and Arctic Lupin will ensure minimal plant maintenance after the first few seasons of planting and a seamless transition from a landscaped area to a more natural environment beyond. Drip irrigation will be used for the first few seasons of plant propagation. With the rear patios being so close to the property line and considering the slope of the properties and surrounding area , we have left this area in keeping with the 1.5 meter treatment of non-combustible landscape composed of decomposed granite, gravel, rocks, pavers and bricks, rock features and concrete patios

Post construction clean up will consist of the removal of any scrap building materials from the surrounding area, an inspection of any remaining natural habitat for damage, and completion of landscaping in keeping with the surrounding area. All planted native shrubs and bushes will be maintained by drip irrigation in the summer season to ensure their successful survival in the alpine environment.



Landscaping fire zone setbacks are as follows:

**1.5M FROM PERIMETER OF ALL DEVELOPED STRUCTURES:**

NON COMBUSTIBLE LANDSCAPING LIMITED TO:

- DECOMPOSED GRANITE
- GRAVEL AND ROCKS
- PAVERS
- BRICK
- ROCK FEATURES
- CONCRETE PATIOS
- RAISED ROCK GARDENS BETWEEN

**1.5M AND 10M (ZONE 1):**

FIRE RESISTANCE ZONE LIMITED TO:

- LOW DENSITY FIRE RESISTANT PLANTS AND SHRUBS
- NO WOODY DEBRIS
- NO MULCH
- NO CONIFEROUS TREES BETWEEN

**10M AND 30M (ZONE 2):**

FIRE RESISTANCE ZONE LIMITED TO:

- THINNED AND PRUNED EVERGREENS
- 3.0M SPACING BETWEEN OUTERMOST BRANCHES
- REGULARLY CLEANED ACCUMULATION

Thank you for your time in reviewing our application.

If you have any questions, please do not hesitate to reach out at your convenience.

Daniel Benoit  
Partner  
Alair Homes  
250-618-0581

250-618-0581  
[dan.benoit@alairhomes.com](mailto:dan.benoit@alairhomes.com)







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Project  
**ANPEN LOWER DUPLEX**  
CORNER OF BIG WHITE ROAD & BLACK FOREST WAY, BIG WHITE, BC  
Client  
**ANPEN HOSPITALITY**  
4003-128 WEST CORDOVA ST, VANCOUVER, BC

Revisions			
C	24-07-05	ISSUED FOR DP REV	
B	24-06-18	ISSUED FOR DP REV	
A	24-05-16	ISSUED FOR DP	
Rev	Date	Reason for issue	App'd

Drawing title <b>PERSPECTIVE</b>		Drawing No.	Revision
Date created 2024-07-08		<b>SK900</b>	C
Scale @ 11x17		Project No.	23.1160





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Project  
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CORNER OF BIG WHITE ROAD & BLACK FOREST WAY, BIG WHITE, BC  
Client  
**ANPEN HOSPITALITY**  
4003-128 WEST CORDOVA ST, VANCOUVER, BC

Revisions		
C	24-07-05	ISSUED FOR DP REV
B	24-06-18	ISSUED FOR DP REV
A	24-05-16	ISSUED FOR DP

Rev	Date	Reason for issue	App'd
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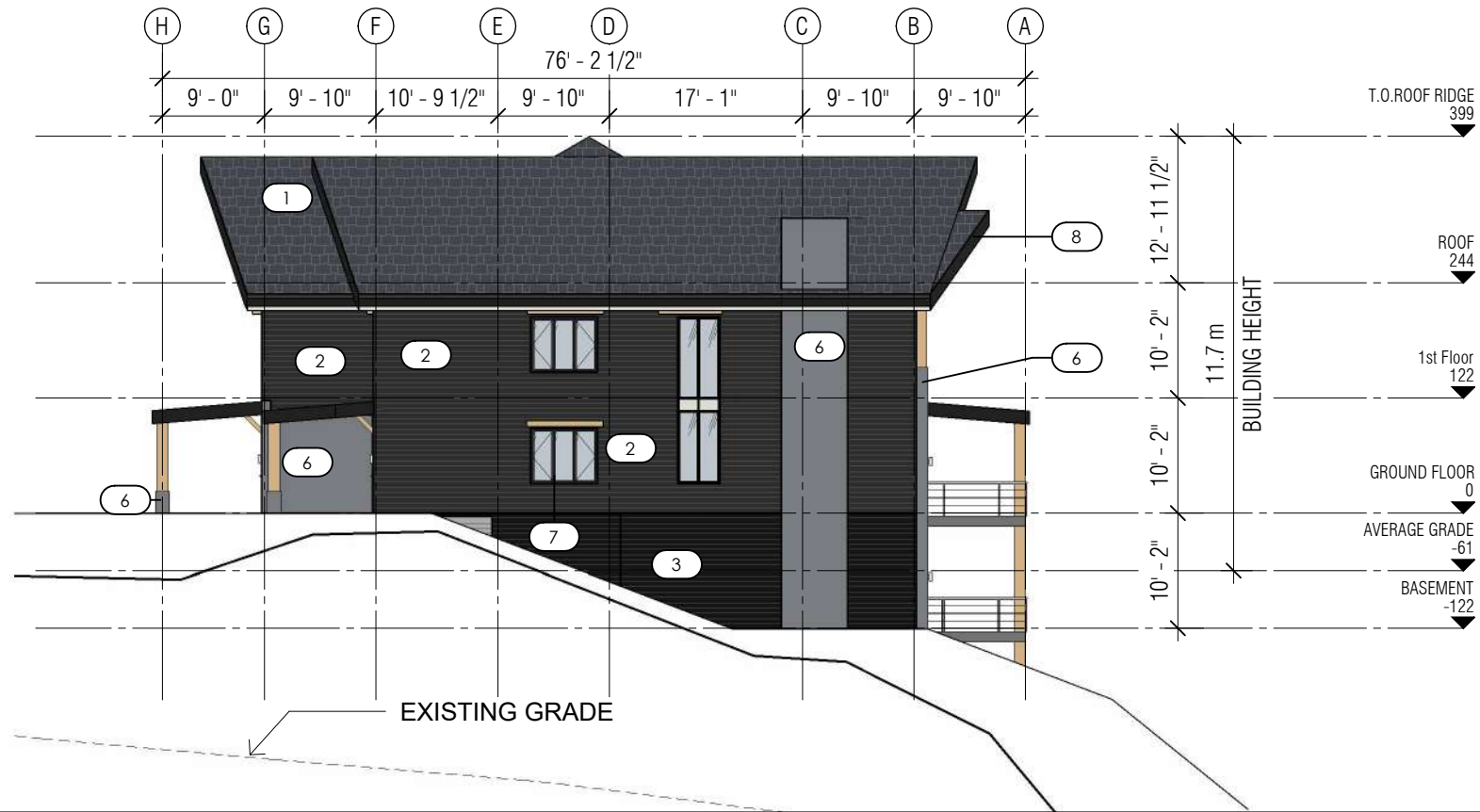
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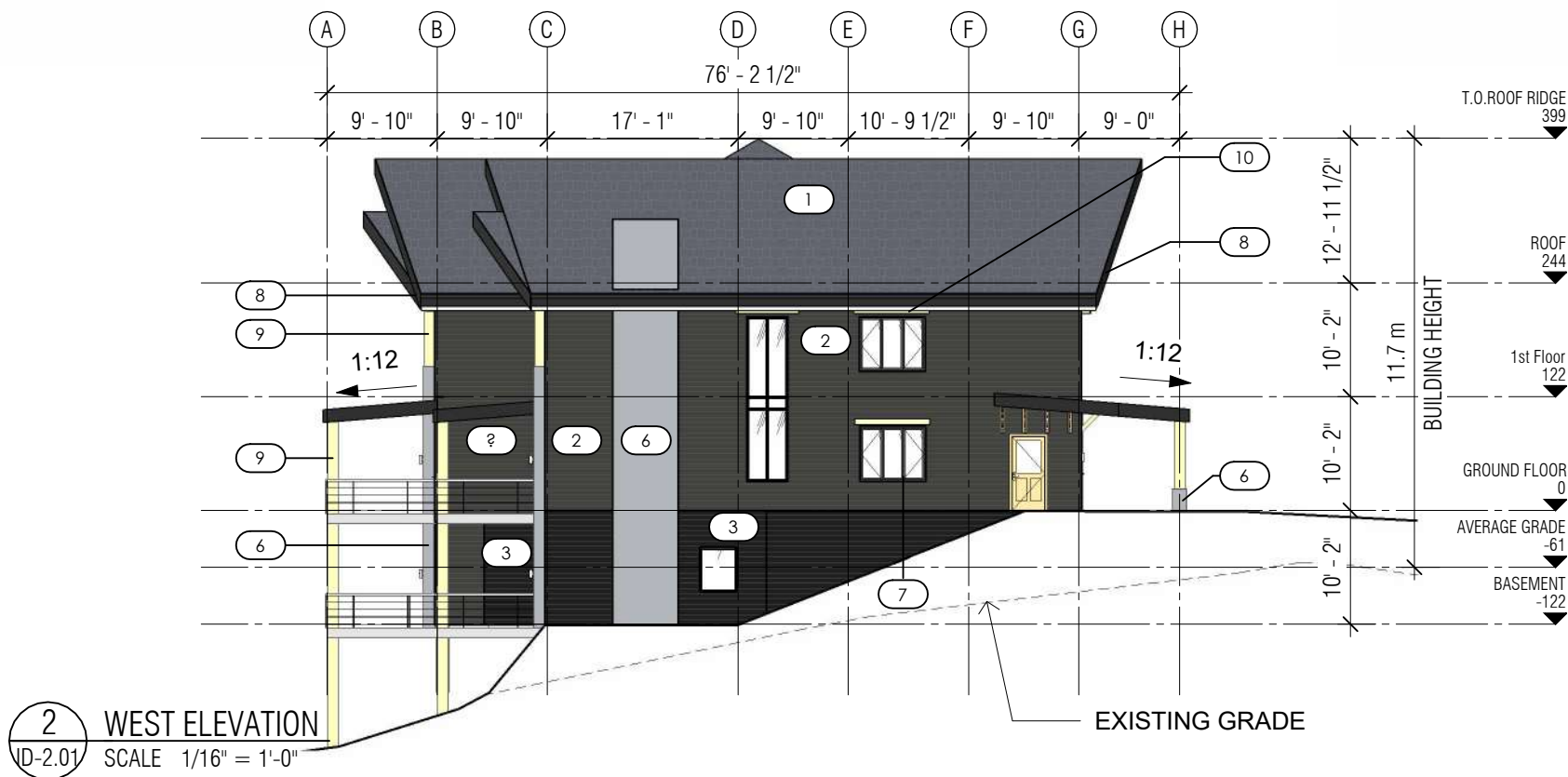
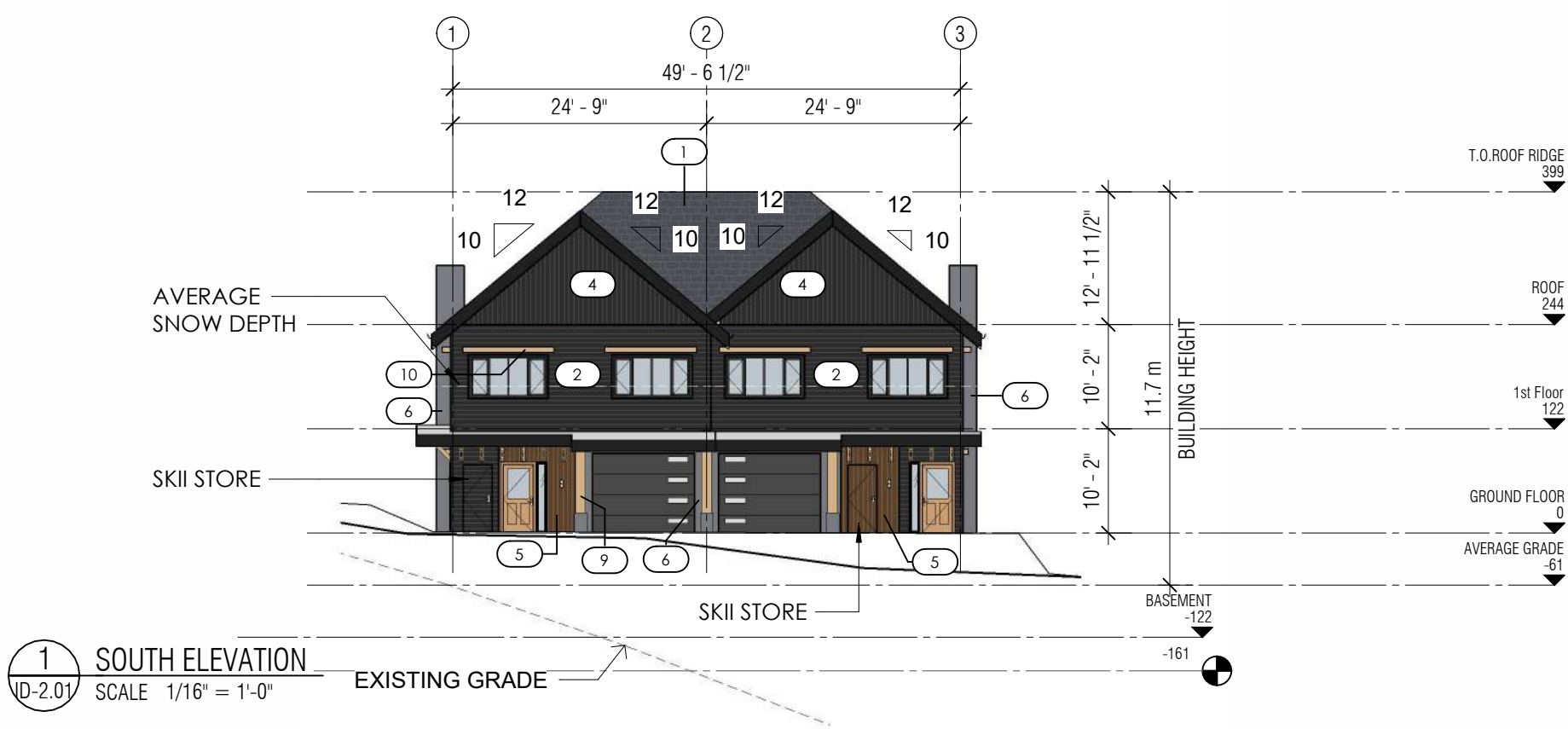


2 NORTH ELEVATION  
ID-2.01 SCALE 1/16" = 1'-0"



1 EAST ELEVATION  
ID-2.01 SCALE 1/16" = 1'-0"

MATERIAL LEGEND		
1	ASPHALT COMPOSITE SHINGLE	
2	HORIZONTAL WEATHERBOARD CLADDING (COLOUR A) SHIPLAP OR APPROVED EQUAL - COLOUR: CHARCOAL	
3	HORIZONTAL WEATHERBOARD CLADDING (COLOUR B) SHIPLAP OR APPROVED EQUAL - COLOUR: EBONY	
4	VERTICAL WEATHERBOARD CLADDING (COLOUR A) SHIPLAP OR APPROVED EQUAL - COLOUR: CHARCOAL	
5	VERTICAL WEATHERBOARD CLADDING (COLOUR B) NORWEGIAN SIDING OR APPROVED EQUAL - COLOUR: TEAK	
6	STONE CLADDING WEST COAST LEDGESTONE OR APPROVED EQUAL	
7	CLEAR GLAZING WITH BALCK ALUMINIUM FRAME	
8	FASCIA w/ PERIMETER RAIN GUTTER - 'BLACK'	
9	TIMBER SUPPORT	
10	TIMBER AWNING	
11	ENTRANCE AWNING	



MATERIAL LEGEND		
1	ASPHALT COMPOSITE SHINGLE	
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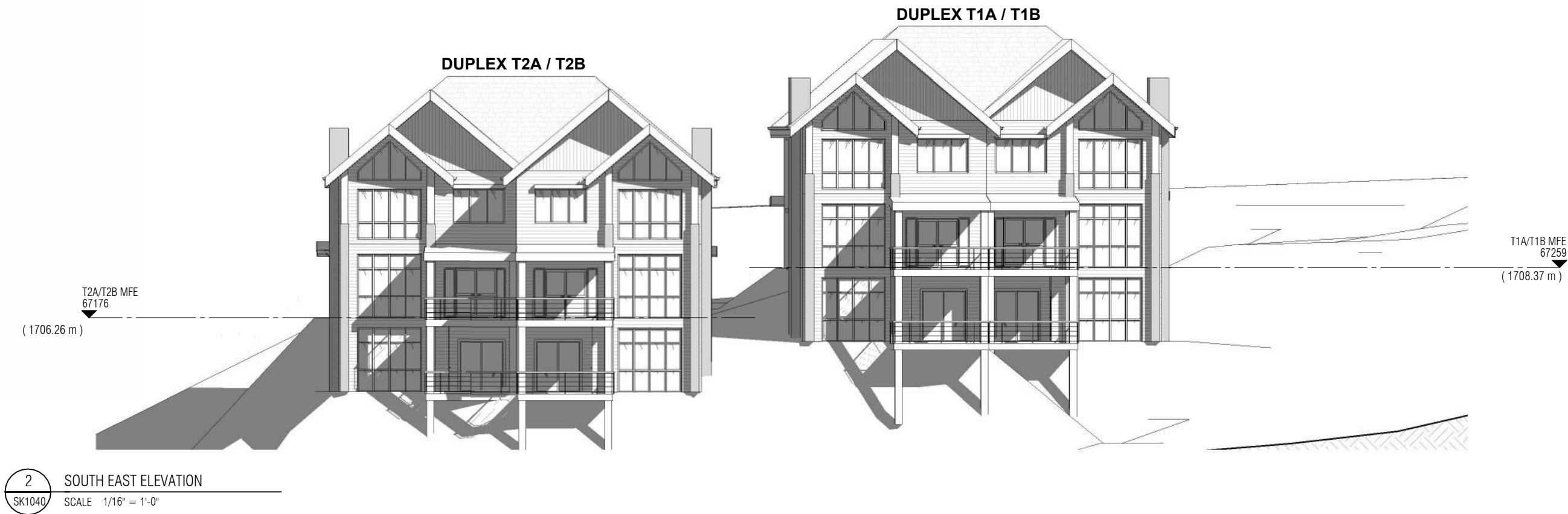
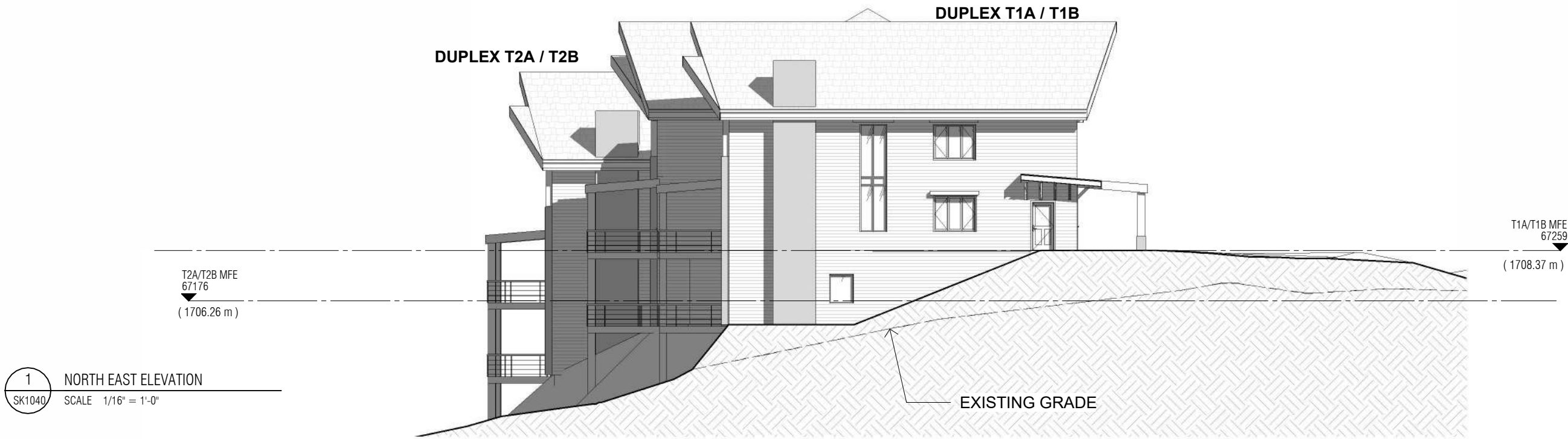
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4003-128 WEST CORDOVA ST, VANCOUVER, BC

**Revisions**  
C 24-07-05 ISSUED FOR DP REV  
B 24-06-18 ISSUED FOR DP REV  
A 24-05-16 ISSUED FOR DP

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2024-07-08  
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11x17

Drawing No. **SK301** Revision C  
Project No. **23.1160**

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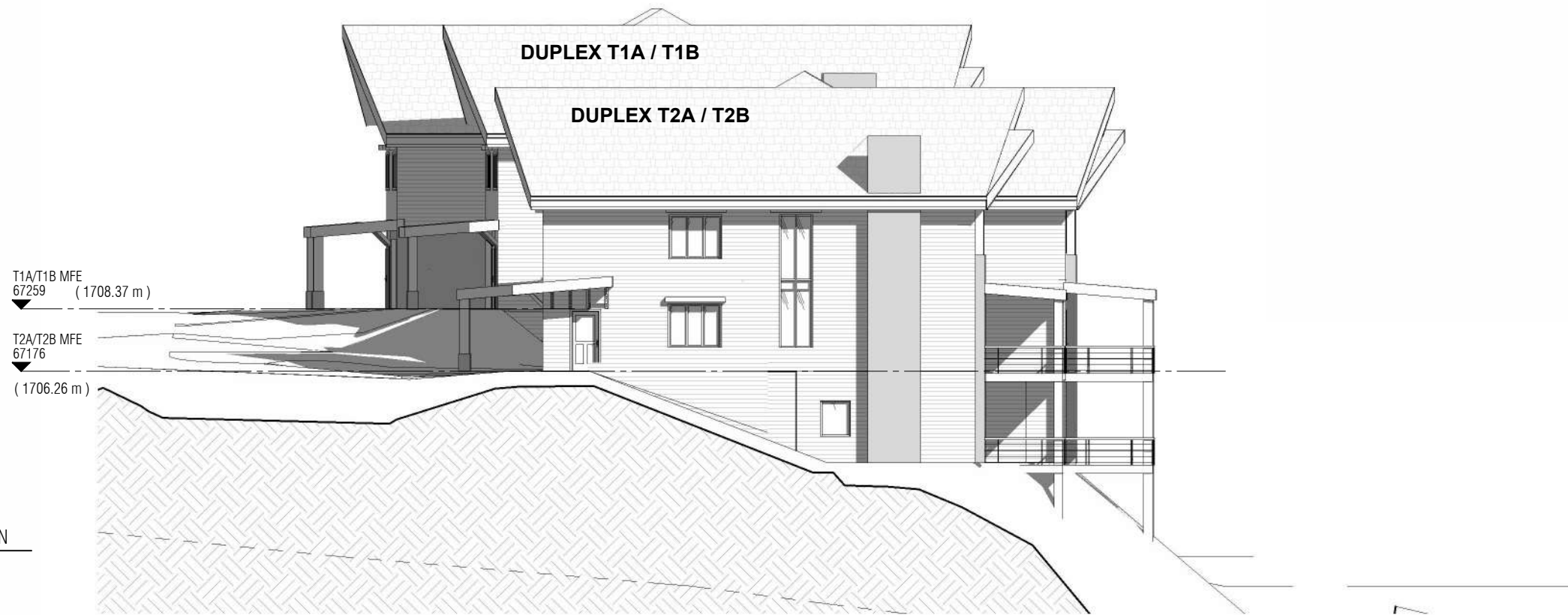
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B	24-06-18	ISSUED FOR DP REV
A	24-05-18	ISSUED FOR DP

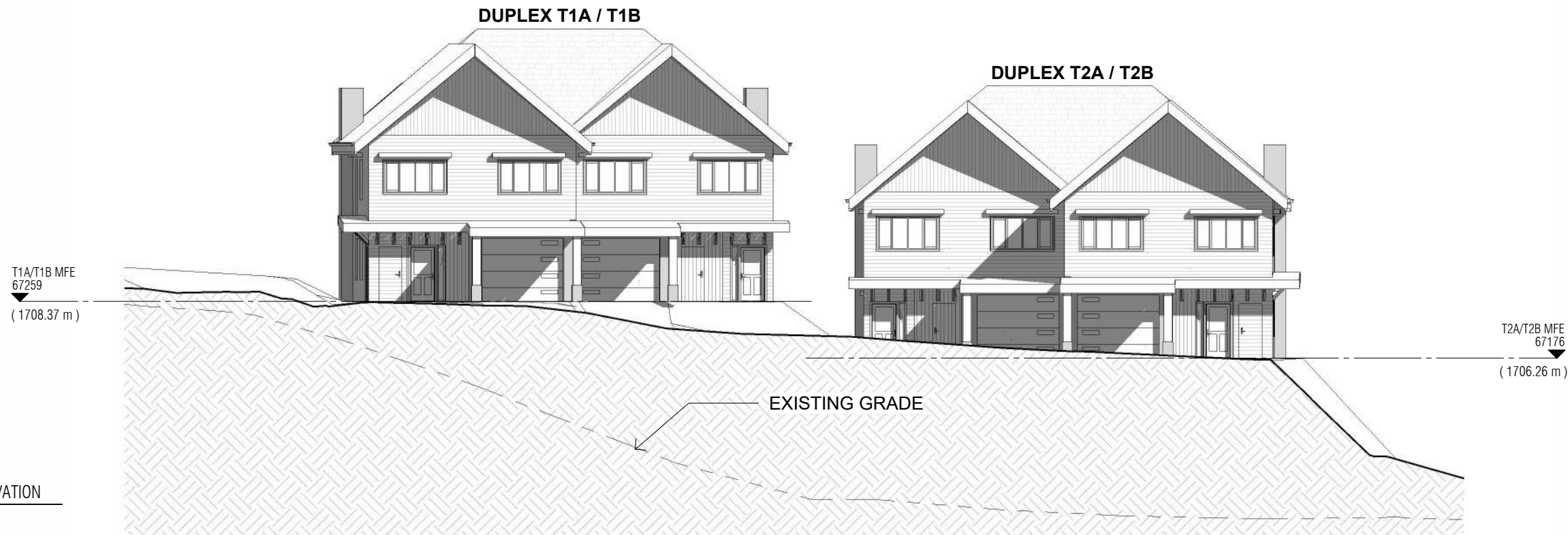
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2024-06-18  
Scale  
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11x17

Drawing No. Revision  
**SK101** C  
Project No. **23.1160**





1 SOUTH WEST ELEVATION  
SCALE 1/16" = 1'-0"



2 NORTH WEST ELEVATION  
SCALE 1/16" = 1'-0"



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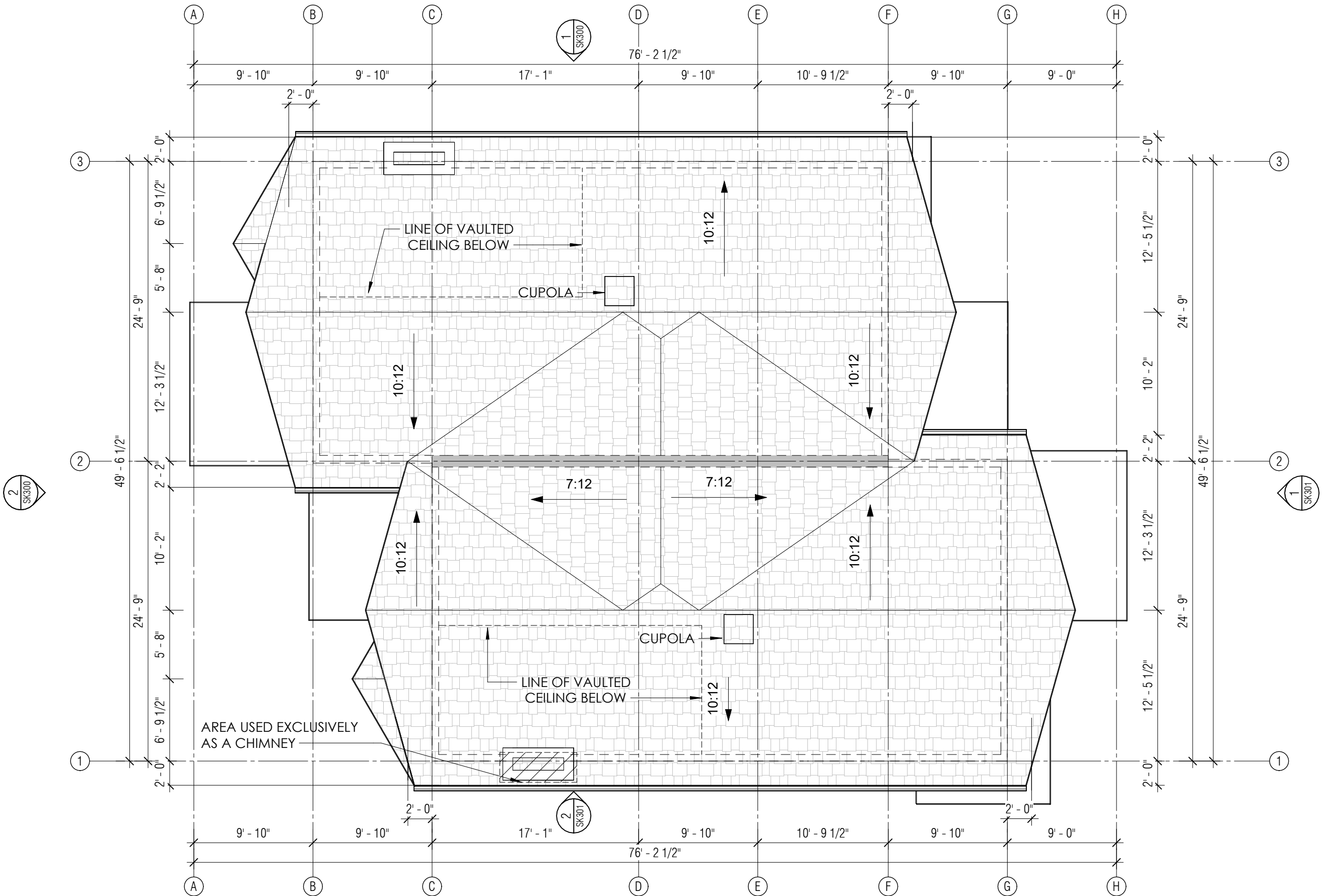
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4003-128 WEST CORDOVA ST, VANCOUVER, BC

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B	24-06-18	ISSUED FOR DP REV
A	24-05-18	ISSUED FOR DP

**Drawing title**  
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**Date created**  
2024-06-18  
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1/16" = 1'-0" @  
11x17

**Drawing No.**  
SK102  
**Revision**  
C  
**Project No.**  
23.1160

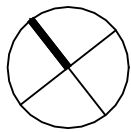




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Project  
**ANPEN LOWER DUPLEX**  
CORNER OF BIG WHITE ROAD & BLACK FOREST WAY, BIG WHITE, BC  
Client  
**ANPEN HOSPITALITY**  
4003-128 WEST CORDOVA ST, VANCOUVER, BC

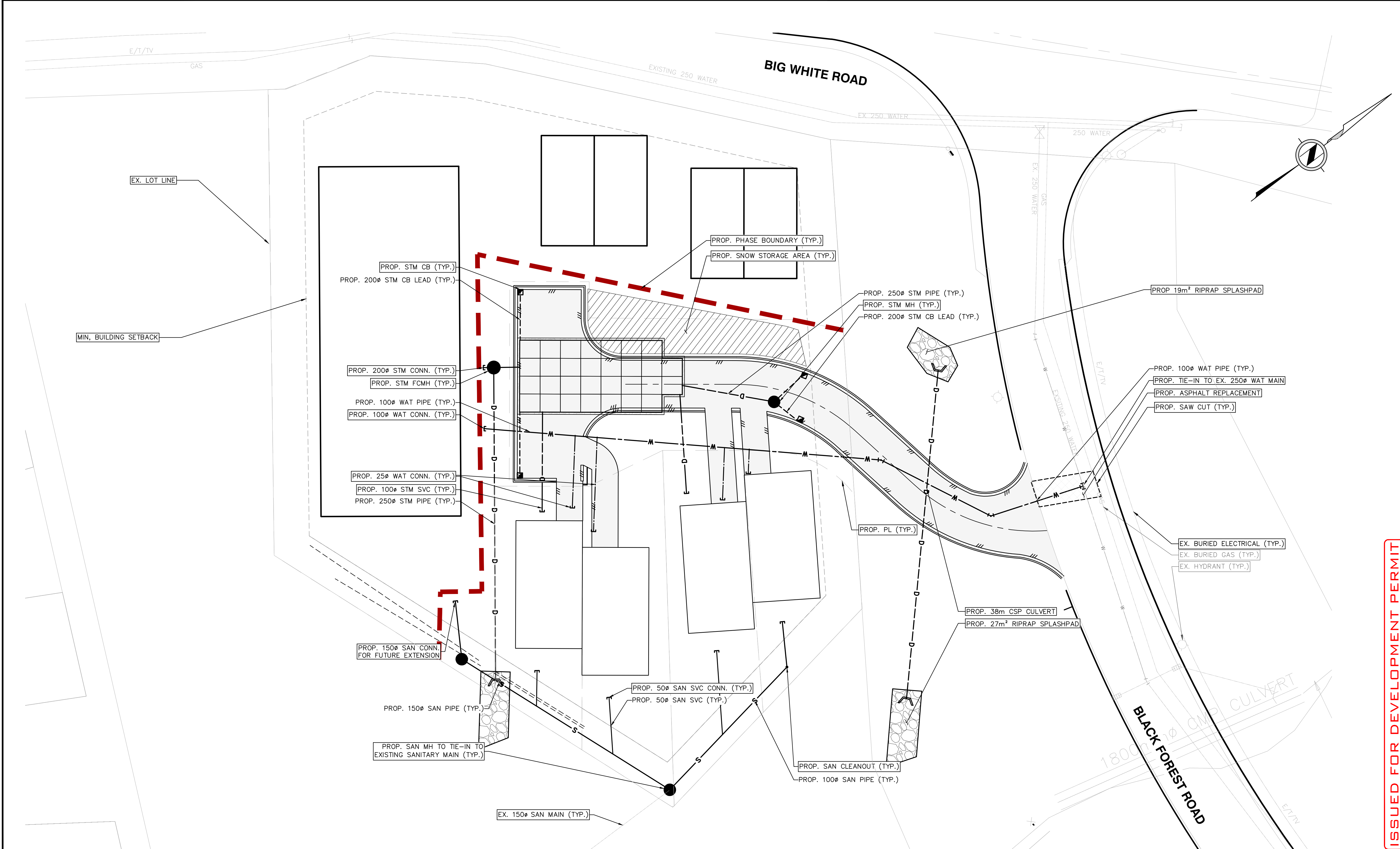


Revisions			
C	24-07-05	ISSUED FOR DP REV	
B	24-06-18	ISSUED FOR DP REV	
A	24-05-16	ISSUED FOR DP	
Rev	Date	Reason for issue	App'd

Drawing title  
**ROOF PLAN**  
Date created  
2024-07-08  
Scale  
1/8" = 1'-0" @  
11x17

Drawing No. Revision  
**SK203** C  
Project No. 23.1160

NOTICE TO CONTRACTOR: IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEERS DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.



ISSUED FOR DEVELOPMENT PERMIT

LEGAL DESCRIPTION: DISTRICT LOT 4270 SIMILKAMEEN DIVISION YALE DISTRICT					
B.M.	MONUMENT NO.	ELEVATION: .			
LOCATED AT .	STREET & .	AVENUE			
REV. NO.	DESCRIPTION	DR	CH	DATE	APP
0	ISSUED FOR DEVELOPMENT PERMIT	TDH	JRG	16/05/24	MC



**APLIN MARTIN**  
ENGINEERING ARCHITECTURE PLANNING SURVEYING

EGBC Permit to Practice Number #1001018  
Aplin & Martin Consultants Ltd.  
1258 Ellis Street, Kelowna, B.C. Canada V1Y 1Z4  
Tel: (250) 448-0157, Fax: (778) 436-2312, Email: general@aplinmartin.com

CLIENT:	<b>ANPEN HOSPITALITY CORP</b> 4003 - 128 West Cordova Street Vancouver, BC, V6B 0E6 CONTACT: ENRIQUE TORES - PH. (778) 918-1328
PROJECT:	<b>DL 4270 MIXED USE</b> DISTRICT LOT 4270 BIG WHITE



2024-05-16

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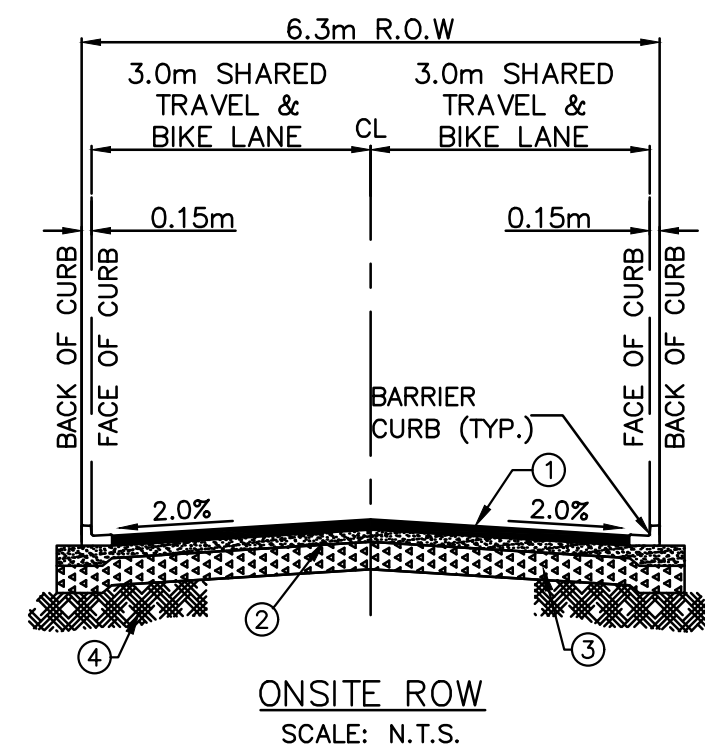
TITLE:		<b>SERVICING PLAN</b>	
PROJECT NO.	SCALE :		
	HORZ. 1:200		
	VERT. N/A		
DRAWING NO.	A & M DRAWING NO.		
	<b>22-3122-030</b>		

DESIGN: SMP	CHECK: MC
DRAWN: SMP	APPR: MC
A & M FILE:	
<b>22-3122</b>	
DRAWING DATE:	
<b>MAY, 2024</b>	
SHEET NO.	REV.
<b>3 OF 7</b>	<b>0</b>



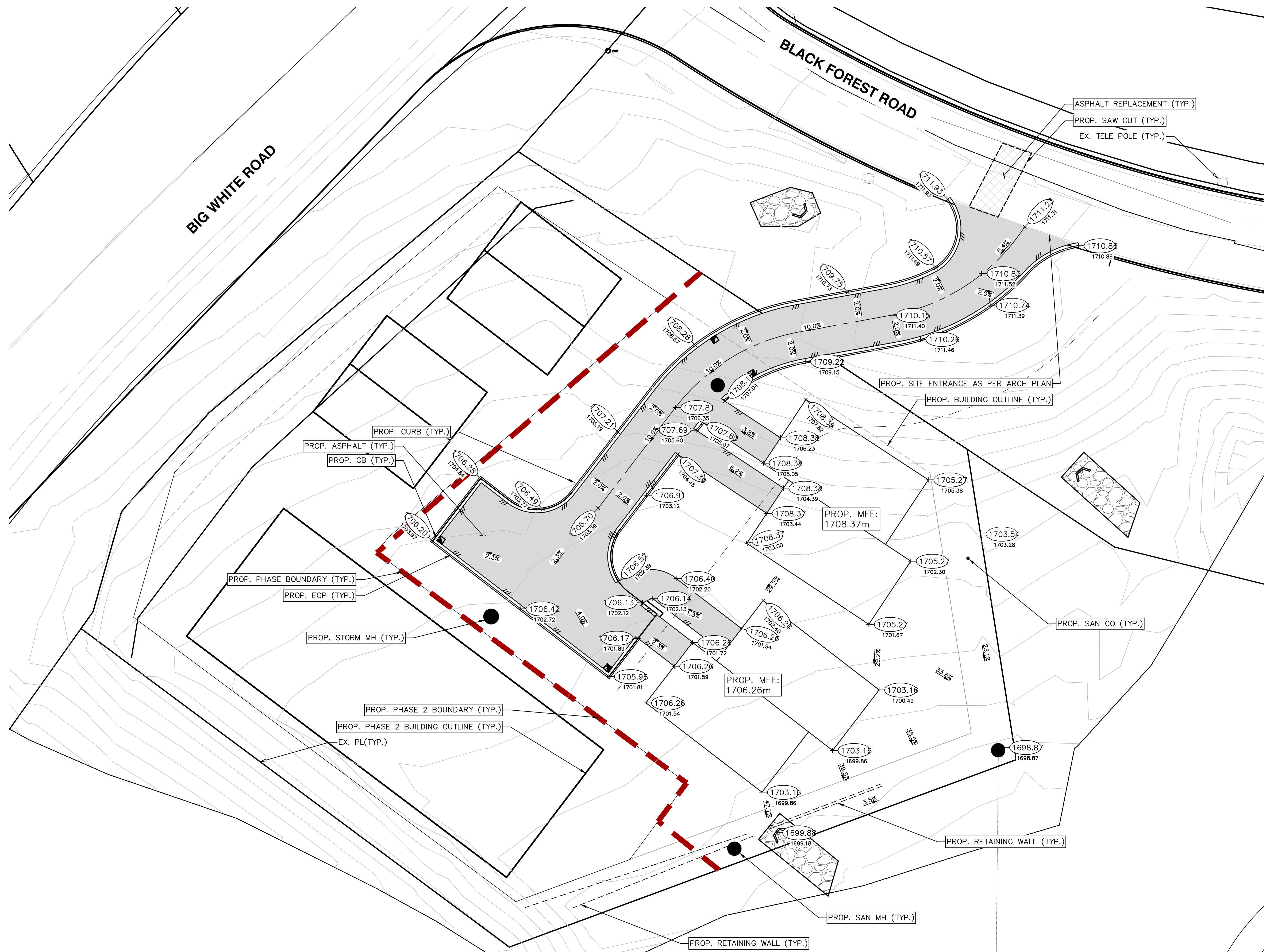
### GRADING LEGEND

EXISTING ELEVATION	+452.31
PROPOSED EL. (BY DEVELOPER)	+344.92
EXISTING ELEVATION	1705.00
PROPOSED ELEVATION TOP OF WALL	+451.35 TW
PROPOSED ELEVATION BOTTOM OF WALL	+451.35 BW
PERCENT GRADE	2.0%
PERCENT SLOPE	2:1
PROPOSED RETAINING WALL	=====
PROPOSED DRAINAGE SWALE	----->
FINISHED CONTOURS	445
TOP OF BANK	=====
BOTTOM OF BANK	-----
GRADE BREAK	-----
PROP. PAVEMENT STRUCTURE	
ASPHALT REPLACEMENT	
MILL AND OVERLAY	
ELEVATION AT OR NEAR FINISHED MAIN FLOOR	MFE: 344.37m



### ONSITE ROAD STRUCTURE\*:

- 1 ASPHALT - 50mm
  - 2 MIN. 225mm 20mm MINUS GRANULAR BASE COMPACTED TO 95% MODIFIED PROCTOR DENSITY
  - 3 MIN. 300mm SELECT GRANULAR SUBBASE COMPACTED TO 95% MODIFIED PROCTOR DENSITY
  - 4 SUBGRADE - NATIVE MATERIAL COMPACTED TO 95% MODIFIED PROCTOR DENSITY
- \*NOTE: ROAD STRUCTURE TO BE CONFIRMED BY GEOTECHNICAL ENGINEER IN FIELD



ISSUED FOR DEVELOPMENT PERMIT

LEGAL DESCRIPTION: DISTRICT LOT 4270 SIMILKAMEEN DIVISION YALE DISTRICT

B.M. MONUMENT NO.		ELEVATION:			
LOCATED AT		STREET & AVENUE			
REV. NO.	DESCRIPTION	DR	CH	DATE	APP
0	ISSUED FOR DEVELOPMENT PERMIT	TDH	JRG	16/05/24	MC

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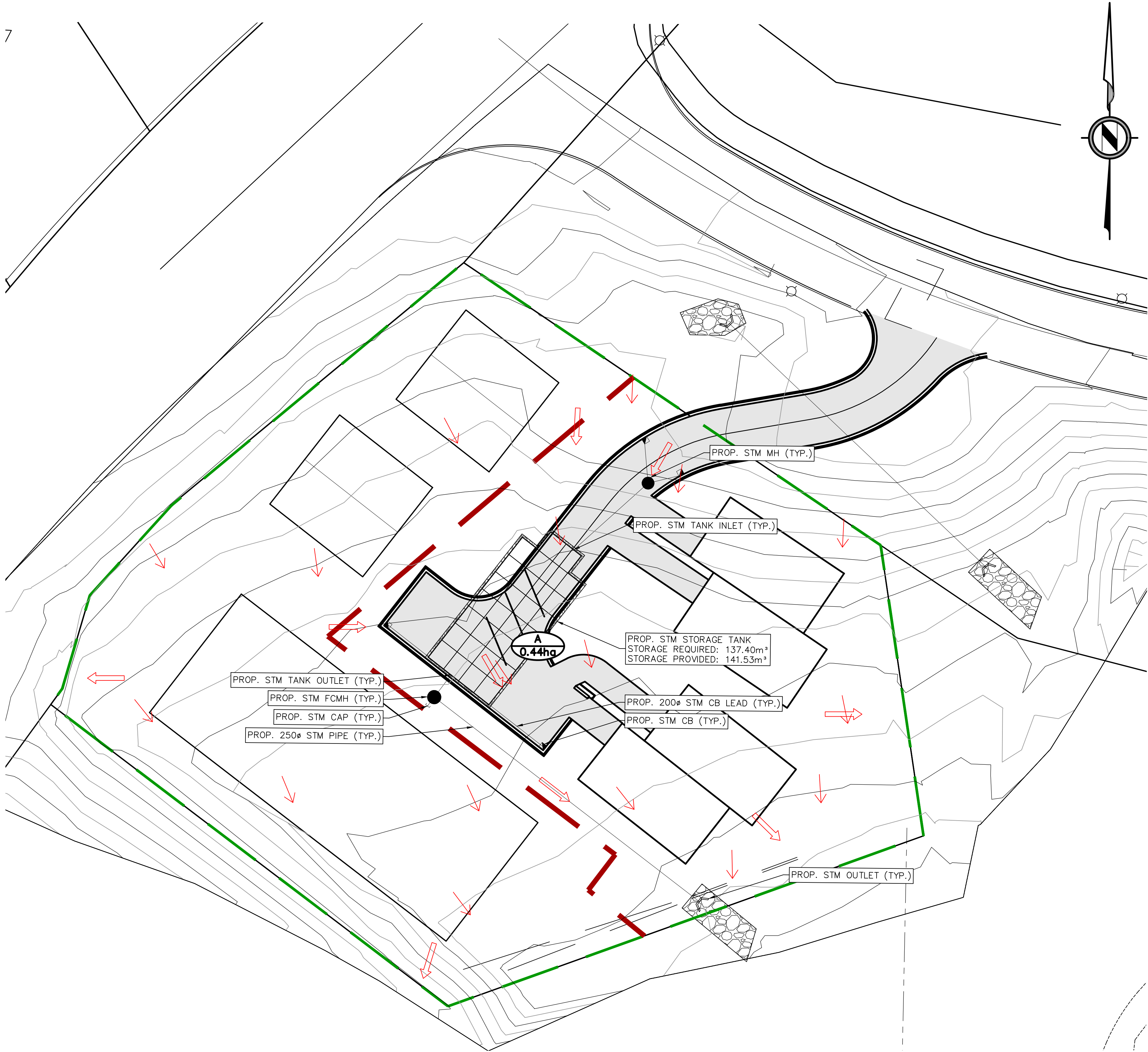
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PROJECT:	<b>DL 4270 MIXED USE</b> DISTRICT LOT 4270 BIG WHITE



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TITLE:	<b>GRADING PLAN</b>	DESIGN: SMP	CHECK: MC
		DRAWN: SMP	APPR: MC
		A & M FILE:	<b>22-3122</b>
		DRAWING DATE:	<b>MAY, 2024</b>
PROJECT NO.	SCALE : HORZ. : 1:200 VERT. : N/A	SHEET NO.	REV.
DRAWING NO.	A & M DRAWING NO. <b>22-3122-C40</b>	<b>4 OF 7</b>	<b>0</b>





100 Year Peak Flow Calculations with 5 Year Release Rate							
	Tc	Runoff	Soil	Area	Intensity	n	Q
	min	coefficient	Adjustment Factor	Ha	mm		cms
Q <sub>5yr</sub> (5-YEAR)	10.44	0.20	1.00	0.44	54.0	0.00278	0.01337
Q <sub>100</sub> (100-YEAR)	6.06	0.90	1.00	0.44	343	0.00278	0.38204

Storage Volume Required (Modified Rational Method)

Storage Volume =  $T_r (Q_{50} - Q_{50}) + 0.5 \times T_c \times Q_{50}^2 (1/Q_{50} - 1/Q_{51})$

T<sub>r</sub> = Duration of storm, in seconds  
T<sub>c</sub> = Time to concentration, in seconds  
Q<sub>50</sub> = Peak flow for storm, T<sub>r</sub> = T<sub>c</sub>, cms  
Q<sub>51</sub> = Peak flow for storm specified, cms  
Q<sub>50</sub> = Maximum release rate, cms

Storage Required = 137.4 cu. m				
Rainfall Duration T <sub>r</sub>	Rainfall Intensity I	Peak Flow Q <sub>p1</sub>	Peak Flow Q <sub>p2</sub>	Required Storage
min	mm	cms	cms	cu. m
2	951	0.382	1.059	125.42
5	409	0.382	0.456	132.72
10	216	0.382	0.241	136.57
15	149	0.382	0.166	137.39
20	114	0.382	0.127	136.91
25	93	0.382	0.104	135.72
30	79	0.382	0.088	134.05
45	54	0.382	0.060	127.39
60	42	0.382	0.046	119.32
75	34	0.382	0.038	110.45
90	29	0.382	0.032	101.08

STORM WATER CONTROL LEGEND	
CATCHMENT BOUNDARY LINE	-----
PROP. STORM DRY WELL	●
PROP. CATCH BASIN	■
PROP. LAWN BASIN	●
CATCHMENT AREA	CATCHMENT # X AREA (ha) X.X ha
PROPOSED SWALE	—▶—
EXISTING DITCHES	—~—~—
PROP. OVERLAND FLOW	→
EXISTING OVERLAND FLOW	→

LEGAL DESCRIPTION: DISTRICT LOT 4270 SIMILKAMEEN DIVISION YALE DISTRICT					
B.M.	MONUMENT NO.	ELEVATION:			
LOCATED AT	STREET &	AVENUE			
REV. NO.	DESCRIPTION	DR	CH	DATE	APP
0	ISSUED FOR DEVELOPMENT PERMIT	TDH	JRG	16/05/24	MC



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PROJECT:	<b>DL 4270 MIXED USE</b> DISTRICT LOT 4270 BIG WHITE



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TITLE: <b>STORMWATER MANAGEMENT PLAN</b>	
PROJECT NO.	SCALE : HORZ. 1:250 VERT. N/A
DRAWING NO.	A & M DRAWING NO. <b>21-3122-050</b>

DESIGN: SMP	CHECK: MC
DRAWN: SMP	APPR: MC
A & M FILE: <b>22-3122</b>	
DRAWING DATE: <b>MAY, 2024</b>	
SHEET NO. <b>5 OF 7</b>	REV. <b>0</b>

ISSUED FOR DEVELOPMENT PERMIT



SEDIMENT AND EROSION CONTROL MEASURES:

IT IS IMPERATIVE THAT THE CONSTRUCTION OF THIS SITE COMPLY WITH THE REQUIREMENTS OUTLINED IN THE CITY OF KELLOWNA BYLAW NO. 7900 AND THE DEPARTMENT OF FISHERIES AND OCEANS LAND DEVELOPMENT GUIDELINES. SPECIFICALLY, ALL STORMWATER RELEASED FROM THIS SITE MUST BE BELOW 75mg/L TSS. THE FOLLOWING STRATEGIES ARE THE MINIMUM EFFORTS THAT WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE CONTRACTOR AND THEIR AGENTS. SOME OR ALL OF THESE ACTIONS MAY BE ASSIGNED TO OTHERS THROUGH CONTRACTUAL ARRANGEMENTS.

GENERAL

1. ALL WORK TO BE UNDERTAKEN AND COMPLETED BY CONTRACTOR IN SUCH A MANNER AS TO PREVENT THE RELEASE OF SEDIMENT LADEN WATER INTO ANY ROADSIDE DITCH, STORM SEWER, OR WATERCOURSE. THE CONTRACTOR IS EXPLICITLY RESPONSIBLE FOR THESE WORKS AND NO EXTRAS WILL BE PAID RELATING TO SEDIMENT AND EROSION CONTROL.
2. ALL SEDIMENT CONTROL FACILITIES SHOWN MUST BE INSTALLED AND IN PLACE UNTIL THE PROJECT IS ACCEPTED AS SUBSTANTIALLY COMPLETE BY THE CITY OF KELLOWNA AND PLACED ON MAINTENANCE.
3. WHILE SITE CONSTRUCTION IS ONGOING, THE CONTRACTOR IS TO BE RESPONSIBLE FOR ENSURING SEDIMENT CONTROL FACILITIES ARE MAINTAINED AND WORKING ADEQUATELY TO CONTROL ALL DISCHARGES FROM THE SITE. ALL FACILITIES SHALL BE INSPECTED BY A QUALIFIED PROFESSIONAL ON A WEEKLY BASIS AND FOLLOWING ALL RAIN EVENTS TO ENSURE PROPER OPERATION UNTIL REMOVAL. STORMWATER MUST BE MONITORED, AND, WHERE APPLICABLE, TESTED AFTER RAIN EVENTS. TEST RESULTS TO BE SUBMITTED TO THE ENGINEER FOR REVIEW IN A TIMELY MANNER. TURBIDITY TESTING WILL BE CONSIDERED EQUIVALENT WHEREBY IF RUNOFF MEASURES LESS THAN 50NTU, TSS LAB TESTING WILL NOT BE NECESSARY. SHOULD A SITE BE DETERMINED TO BE NON-COMPLIANT, THE PROFESSIONAL MUST PROVIDE A REMEDIATION PLAN TO THE CITY WITHIN TWO DAYS OF THE EVENT.
4. MAINTENANCE SHALL INCLUDE, BUT IS NOT LIMITED TO: REPAIRING OR REPLACING SILT FENCING, REPAIRING CONSTRUCTION ENTRANCE, SPREADING STRAW, HYDROSEEDING, STREET SWEEPING, FLUSHING OF THE STORM SEWERS.
5. SLOPES STEEPER THAN 3:1 TO BE TRACK-WALKED AND HYDROMULCHED WITH FLEXGUARD OR AN APPROVED EQUIVALENT WITH APPLICATION RATE PER MANUFACTURER'S SPECIFICATIONS, BASED ON SLOPE AND SLOPE STABILITY.
6. SLOPES > 3:1 AND WITH A LENGTH >10m TO BE BROKEN UP WITH TERRA TUBES AT 15' TO THE SLOPE.
7. SILT FENCE IS TO BE "KONTROL SILT FENCE PLUS" OR EQUIVALENT AS APPROVED BY THE ENGINEER. FENCE TO HAVE MIN. CLEAR WATER FLOW RATE OF 0.0305cms/sm (0.10cfs/sf). FENCE TO BE STAPLED @ 150mm Ø 150mm Ø TREATED POSTS SPACED AT 1.0m O/C. BOTTOM OF SILT FENCE TO BE ANCHORED AS PER DETAIL.
8. ANY IRREGULARITIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

STAGE 1 – SITE CLEARING & GRUBBING PHASE

1. PRIOR TO ANY CLEARING OR EXCAVATION, THE SITE CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE SITE PERIMETER.
2. SITE CLEARING TO BE CONDUCTED ON A SELECTIVE AND AS-NEEDED BASIS WITH EXPOSED SOILS STABILIZED THROUGH REPLANTING OR RESEEDING AND PROTECTED WITH EITHER STRAW OR POLY SHEETING COVER.
3. DURING THE SITE CLEARING OPERATIONS, PROVIDE MECHANICAL SWEEPING (NOT FLUSHING) ACROSS THE FRONTAGE OF THE DEVELOPMENT PROPERTY TO REMOVE ANY ACCUMULATION OF SILT FROM THE SITE ENTRANCES OR AS DIRECTED BY THE ENGINEER OF RECORD.

STAGE 2 – CONSTRUCTION OF THE ROADS AND UNDERGROUND UTILITIES PHASE

1. THE PROPOSED STORM WORKS SHALL NOT BE CONNECTED TO THE EXISTING STORM SYSTEM UNTIL THE STORMWATER TREATMENT UNIT IS OPERATIONAL – IF APPLICABLE.
2. STOCKPILES OF EXCAVATED MATERIAL (IF RETAINED ONSITE) WITH A SLOPE GREATER THAN 3:1, OR IF LEFT > 12 HOURS WITH A HEIGHT EXCEEDING 3M VERTICAL, ARE TO BE PROTECTED WITH 6mm-THICK POLYTHENE SHEETING (OR SIMILAR) AND SURROUNDED BY SILT FENCE TO MINIMIZE SOIL EROSION DUE TO RAINFALL EVENTS.
3. AFTER INSTALLATION OF THE CB'S, "FILTREXX INLETSOX" OR APPROVED EQUIVALENT CB SURROUNDS SHALL BE INSTALLED AROUND THE CB TO PREVENT SILT FROM ENTERING THE STORM SEWER SYSTEM. CLEAN AND REPLACE AS NECESSARY.
4. "TERRATUBE" COMPOST TUBES MAY BE INSTALLED AS CHECK DAMS
5. A LAYER OF STRAW MULCH IS TO BE PLACED OVER ALL ERODABLE SOIL AREAS TO MINIMIZE SOIL EROSION IN THE EVENT OF RAINFALL DURING OR AFTER THE ROUGH LOT GRADING OPERATION.
6. DURING THE UNDERGROUNDS CONSTRUCTION, AND/OR ANY OFFSITE HAULING, PROVIDE MECHANICAL SWEEPING (NOT FLUSHING) ACROSS THE FRONTAGE OF THE DEVELOPMENT PROPERTY TO REMOVE ANY ACCUMULATION OF SILT FROM THE SITE ENTRANCES OR AS DIRECTED BY THE ENGINEER OF RECORD.

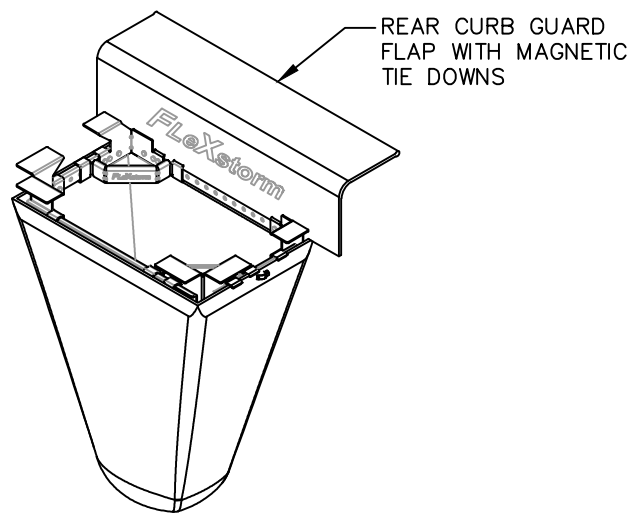
STAGE 3 – BUILDING & COMMISSIONING PHASE

1. ONLY UPON COMPLETION OF ALL GRADING AND LANDSCAPING WITH THE ESTABLISHMENT OF VEGETATION MAY THE SILT CONTROL MEASURES BE DECOMMISSIONED.
2. ALL SEDIMENT SHALL REMOVED FROM THE FLOW CONTROL MANHOLE AND ALL STORM SEWERS, LAWN BASINS, AND CATCHBASINS. SUBSEQUENTLY, SEWERS ARE TO BE FLUSHED WITH WASTE CONTROLLED AND DISPOSED OF OFFSITE. NO FLUSHED WATER IS TO BE DIRECTED TO THE STORM SYSTEM.
3. ONLY AT THE COMMISSIONING STAGE SHALL THE CONNECTIONS FROM THE CB'S TO THE INFILTRATION TRENCHES BE UNPLUGGED.

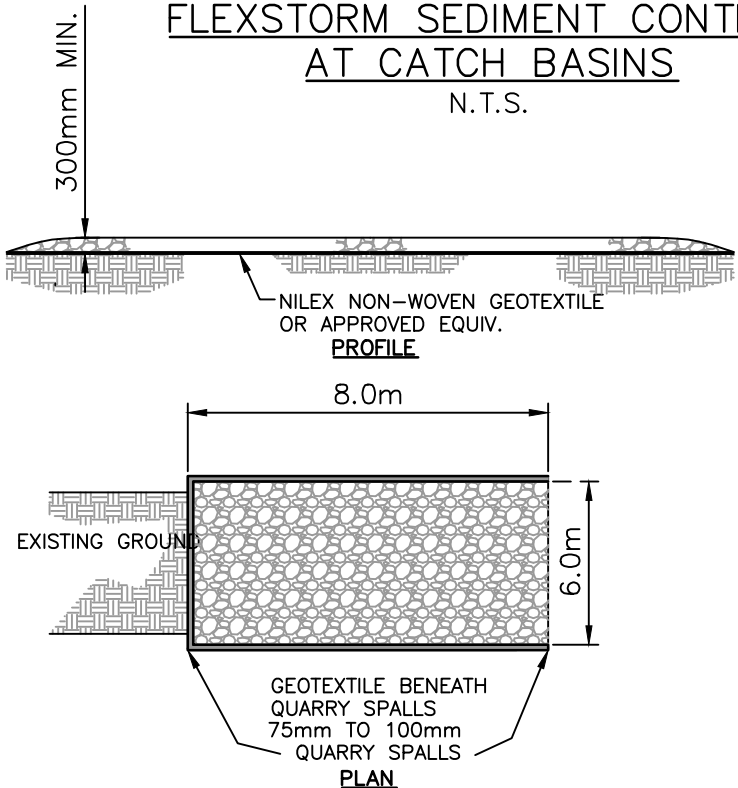
THE ENGINEER OF RECORD, OR HIS AGENT, WILL MONITOR THE CONDITIONS AT THE SITE AND PROVIDE ADDITIONAL DIRECTION AS REQUIRED. THIS DIRECTION MAY INCLUDE ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES OR ACTIONS, AS REQUIRED. SHOULD THESE DIRECTIONS NOT BE IMPLEMENTED IN A TIMELY MANNER, WRITTEN NOTICE OF NON-CONFORMANCE WILL BE ISSUED. SHOULD THE SITUATION NOT BE RECTIFIED, THE ENGINEER OF RECORD WILL INITIATE ACTION AT THE COST OF THE CONTRACTOR.

INSTALLATION NOTES:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

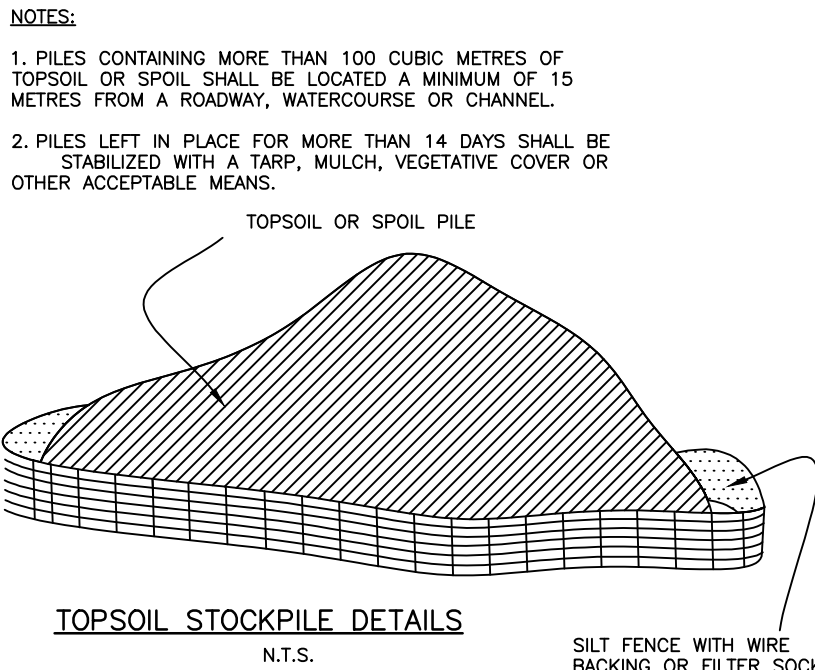
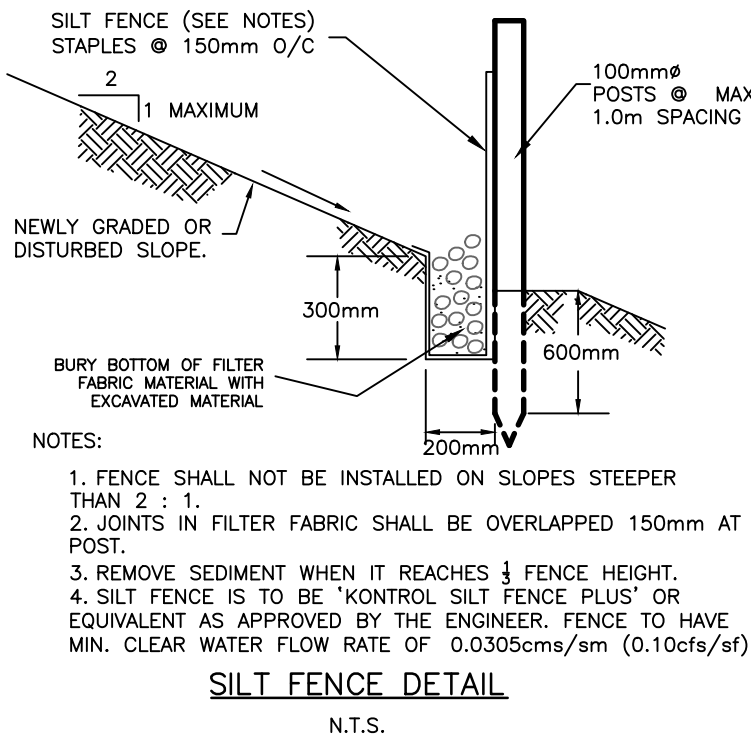


FLEXSTORM SEDIMENT CONTROL AT CATCH BASINS  
N.T.S.



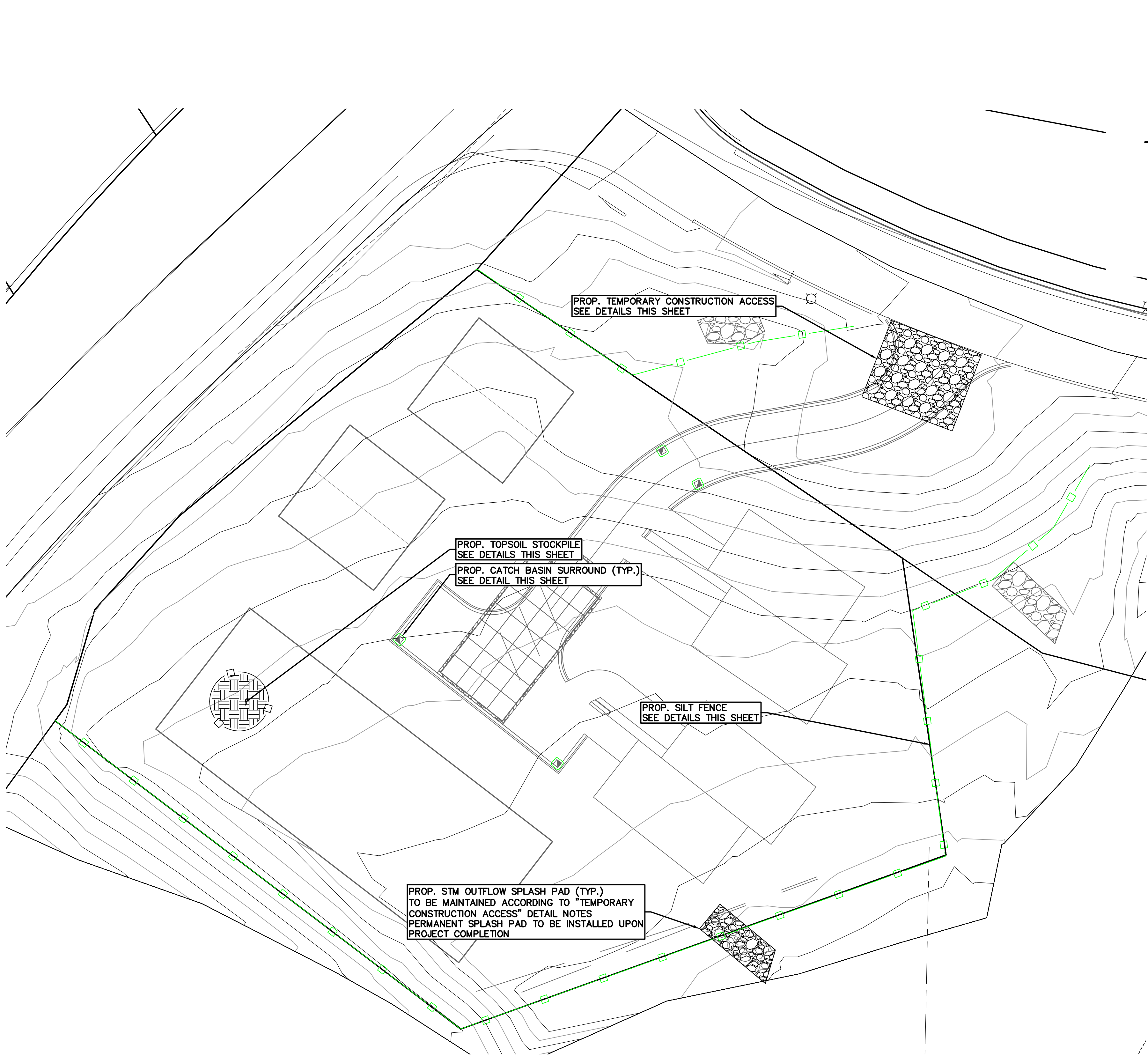
- NOTES:
1. PAD SHALL BE REMOVED AND REPLACED WHEN SOIL IS EVIDENT ON THE SURFACE OF THE PAD OR AS DIRECTED BY THE ENGINEER
  2. PAD THICKNESS SHALL BE INCREASED IF SOIL CONDITIONS DICTATE OR PER THE DIRECTION OF THE ENGINEER
  3. MINIMUM DIMENSIONS MAY BE MODIFIED AS REQUIRED BY SITE CONDITIONS UPON APPROVAL OF THE ENGINEER.

TEMPORARY CONSTRUCTION ACCESS  
N.T.S.



TOPSOIL STOCKPILE DETAILS  
N.T.S.

SILT FENCE WITH WIRE BACKING OR FILTER SOCK WITH STRAW



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PROJECT:	<b>DL 4270 MIXED USE</b> DISTRICT LOT 4270 BIG WHITE

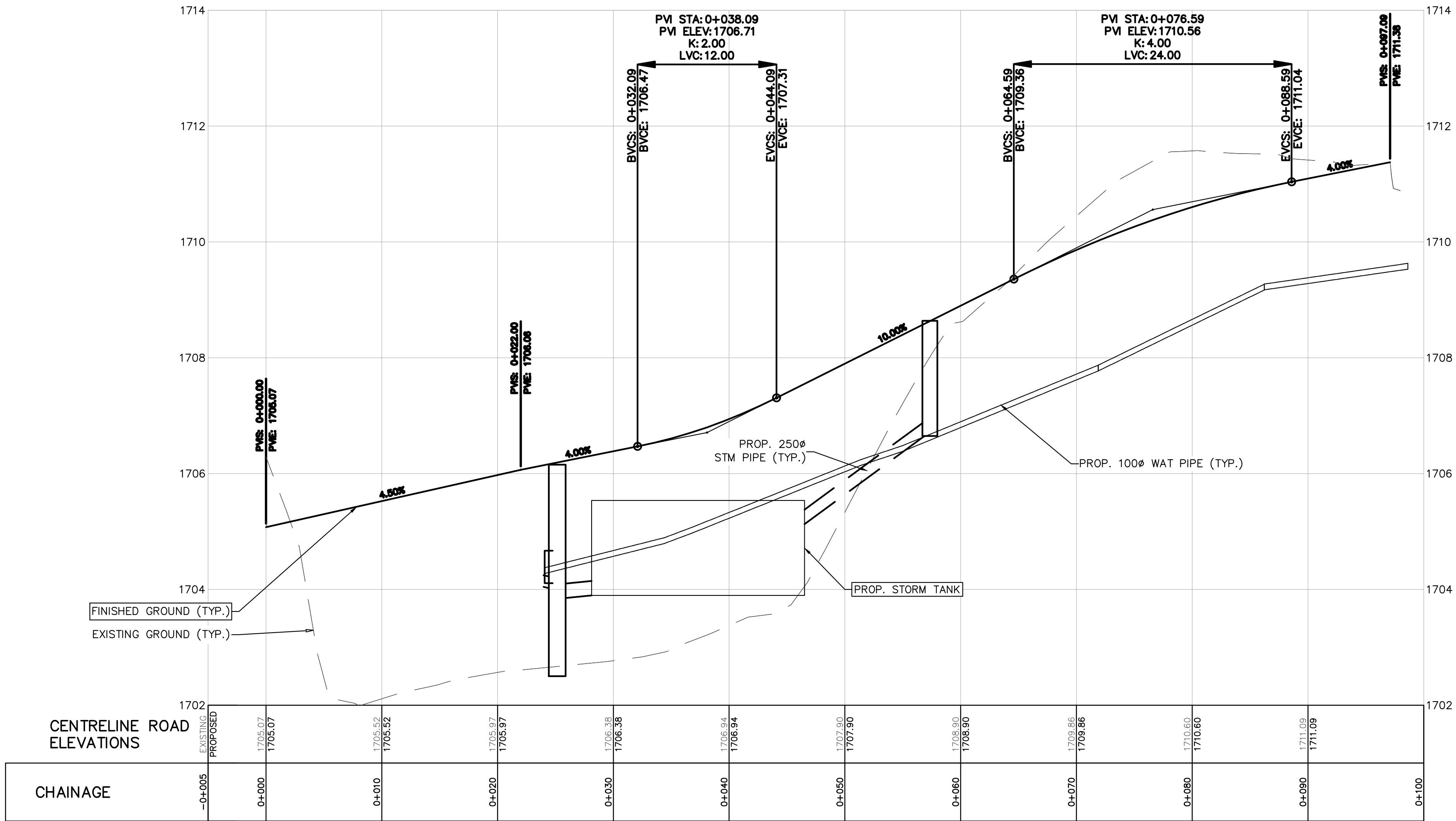
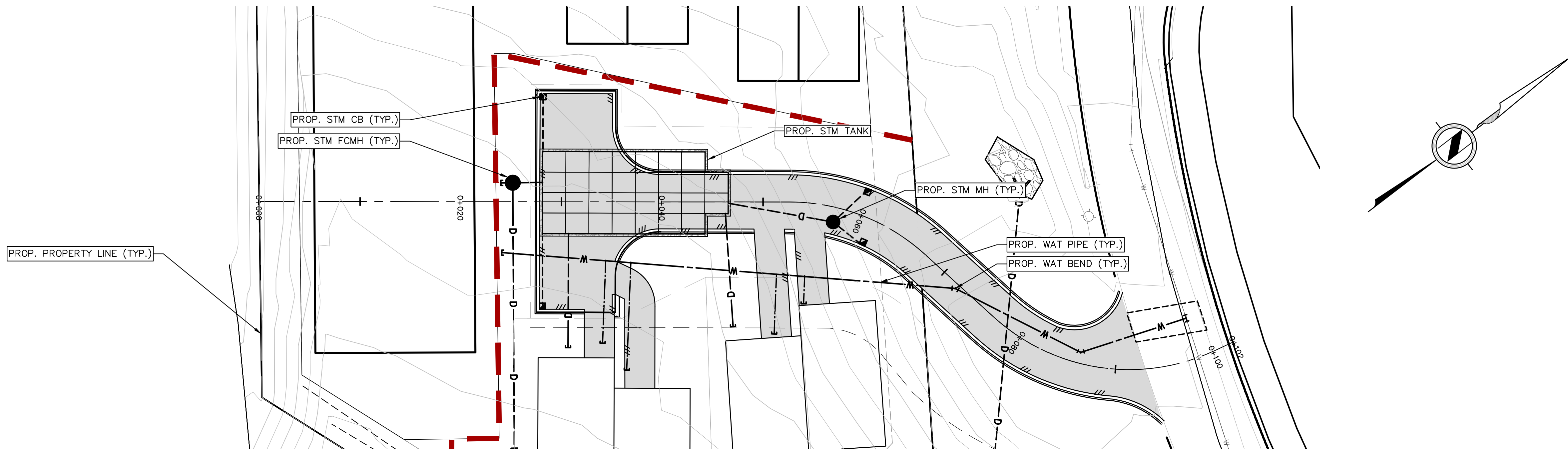


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TITLE:		EROSION AND SEDIMENT CONTROL PLAN	
PROJECT NO. .		SCALE : HORZ. 1:250 VERT. N/A	
DRAWING NO. .		A & M DRAWING NO. <b>22-3122-060</b>	



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TITLE: <b>ONSITE ROAD PLAN &amp; PROFILE</b>		DESIGN: SMP DRAWN: SMP	CHECK: MC APPR: MC
		A & M FILE: <b>22-3122</b>	
PROJECT NO. .	SCALE : HORZ. 1:200 VERT. N/A	DRAWING DATE: <b>MAY, 2024</b>	
DRAWING NO. .	A & M DRAWING NO. <b>22-3122-100</b>	SHEET NO. <b>5 OF 7</b>	REV. <b>0</b>



# Electoral Area E/ West Boundary-Big White Advisory Planning Commission (APC) Staff Report

<b>RE:</b>	Development Permit – 1342246 BC Ltd. (243I-24D)		
<b>Date:</b>	August 6, 2024	<b>File #:</b>	2024-066 BW-4222-07500.001
<b>To:</b>	Members of the Electoral Area E/ West Boundary - Big White APC		
<b>From:</b>	Geoffrey Genge, Planner		

## Issue Introduction

We received an application for an amendment to a Commercial and Multiple Family and Alpine Environmentally Sensitive Landscape Reclamation development permit from Justice Marks (H&H Custom Homes) on behalf of 1342246 BC Ltd. at 255 Feathertop Way at Big White Mountain (See *Attachments*).

Property Information	
<b>Owner(s):</b>	1342246 B.C. Ltd., Inc. No. BC1342246
<b>Agent:</b>	Justice Marks (H&H Custom Homes)
<b>Location:</b>	255 Feathertop Way
<b>Electoral Area:</b>	Electoral Area E/ West Boundary
<b>Legal Description(s):</b>	Lot 1, Plan KAP72799, District Lot 4222, SDYD, Except Phases 1-10 Strata Plan KAS2609
<b>Area:</b>	0.22ha (0.53ac) portion of remainder to be developed
<b>Current Use(s):</b>	Residential
Land Use Bylaws	
<b>OCP No. 1125:</b>	Village Core
<b>DP Area:</b>	Alpine Environmentally Sensitive/ Commercial and Multiple Family
<b>Zoning No. 1166:</b>	Village Core 6 (VC6)
Other	
<b>ALR:</b>	Outside ALR
<b>Waterfront/Floodplain:</b>	N/A
<b>Water Service Area:</b>	Big White Utilities
<b>Sewer Service Area:</b>	Big White Utilities
<b>Planning Agreement Areas:</b>	N/A

## History / Background Information

The subject property is located approximately 650m north of Happy Valley Day Lodge, at Big White Mountain. It is designated as Village Core in Big White Official Community Plan Bylaw No. 1125 and is zoned Village Core 6 (VC6) in Big White Zoning Bylaw No. 1166, 2001.

To the north and west lie parcels used for residential purposes. To the south and east lie Feathertop Way and further, parcels used for residential purposes (*See Attachment #1-Site Location Map*).

The property located at 255 Feathertop Way has been developed over 20 years as a residential development under Strata Plan KAS2609. The proposed development is a remainder parcel associated with the Sundance Resort Development. Phases 1-8 of 255 Feathertop Way were constructed primarily between 2003 and 2017. H&H Custom Homes purchased the remaining land in January 2022. They received an approved Development Permit Amendment (243H-22D) for two (2) duplexes and one (1) single family dwelling in August 2022. The remainder parcel is currently vacant (*See Attachment #2-Subject Property Map*).

The Alpine Environmentally Sensitive Landscape Reclamation development permit area was designated for the protection of the natural environment, its ecosystems and biological diversity. The Commercial and Multiple Family development permit area was designated for the establishment of objectives for the form and character of commercial, industrial or multi-family residential development.

## Proposal

The applicant is requesting an amendment to a Commercial and Multiple Family/ Alpine Environmentally Sensitive Landscape Reclamation development permit (243-22D), which is required prior to constructing the proposed multi-family dwelling.

In support of the application, the applicant has provided a site plan, building elevations, application letter, and an updated snow management letter for a four (4) unit multi-family building containing one lock-off room per unit (*See Attachment #3-Applicant's Submission Package*).

In addition, a landscape plan, drainage plan, and waste management plan will continue to be a requirement of Development Permit approval, which has been carried over from the previous Development Permit 243H-22D (*See Attachment #4-Select Materials from DP 243H-22D*).

## Implications

*Drainage and Waste*



The original drainage plan from 2002 is being carried over for this proposal with excess runoff being directed towards Feathertop Way. In addition, the original waste plan from 2002 is being carried over for this proposal with one (1) six yard bin and four (4) 350L totes being proposed in a waste building adjacent to the driveway.

### *Snow Management*

The applicants have provided an update snow management strategy, stamped by a Professional Engineer, providing strategies to ensure that people and property are protected in a reasonable manner from the risk of snow shedding, including details of the cold roof design and venting, measures against ice damming, covered roofs for entranceways and snow retention devices. Staff is working with the applicant to ensure that all vehicle access points are protected from snow shedding and ice accumulation, due to the change in roof design near the garages.

### *General Building Form*

The updated building design, with further details in the applicant's letter, adheres to the guidelines in the OCP including the inclusion of covered balconies, porches and an articulated roof line.

### *Roof Form*

The updated roof design, with further details in the applicant's letters, adheres to the guidelines in the OCP including being sloped and varied to avoid a single large roof mass, incorporating adequate roof ventilation, and providing roof overhangs. Staff is working with the applicant to ensure the roofs include design elements to provide effective snow management and avoid snow shedding near vehicle access areas.

### *Exterior Finish*

The updated building design adheres to the guidelines in the OCP including using natural wood beams, incorporating stone on the lower sections of the building, and covering door openings from wind and drifting snow.

### *Skier Access*

Skier access is available to the proposed building via a public ski run (Shortcut) directly to the north.

### *Landscaping*

The original landscape plan from 2002 includes Trembling Aspen, Hybrid White Spruce and Serbian Spruce being proposed for planting around the building.

Staff notes that Western Larch is the preferred tree to be planted over Spruce as it is more resistant to wildfire than Spruce. Staff is working with

the applicant to provide an updated plan that ensures all areas are remediated with either hardscaping or soft landscaping that considers wildfire risks.

### *Zoning Considerations*

Parking for the proposed building meets the zoning bylaw minimum with thirteen (13) parking spaces being proposed, of which six (6) are covered.

The proposal appears to be consistent with all Zoning Bylaw requirements including height, setbacks, parcel coverage and FAR, except the variance request noted below.

### *Variance Request*

Staff notes that a portion of one deck encroaches on the interior parcel line (adjacent to the Feathertop Way strata road) by 0.58m. An applicant may apply to vary certain regulations contained in the Zoning Bylaw, including a setback variance less than 1.0m. The following factors may be taken into consideration in reviewing the variance request: consistency with the DP guidelines, enhancing the proposal, not increasing FAR beyond the zoning regulations, necessity due to unavoidable physical constraint, and not adversely impacting an adjacent property.

Although this proposal is within a separate strata development, it is noted that the typical setback along the strata road portion of Feathertop Way is 0m for properties within Feathertop's bare land strata.

## **Attachments**

- 1-Site Location Map
- 2-Subject Property Map
- 3-Applicant's Submission Package
- 4-Select Materials from DP 243H-22D



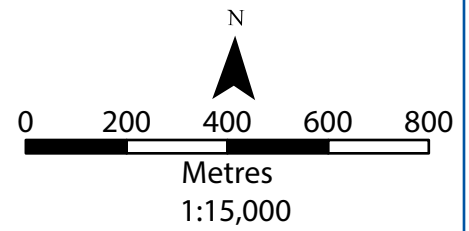


Regional District of  
Kootenay Boundary

Map Date: 2024-07-23

# Site Location Map

Lot 1,  
Plan KAP72799, DL 4222,  
SDYD



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202-843 Rossland Ave, Trail BC V1R 4S8 | T: 250.368.9148 | T/F: 1.800.355.7352 | [rdkb.com](http://rdkb.com)

Document Path: P:\PD\3200 Properties Titled\07 Area E (Big White)\BW-4222-07500.001 Sundance\2024-066 DP Amendment\Mapping\SubjectPropertyMaps.aprx



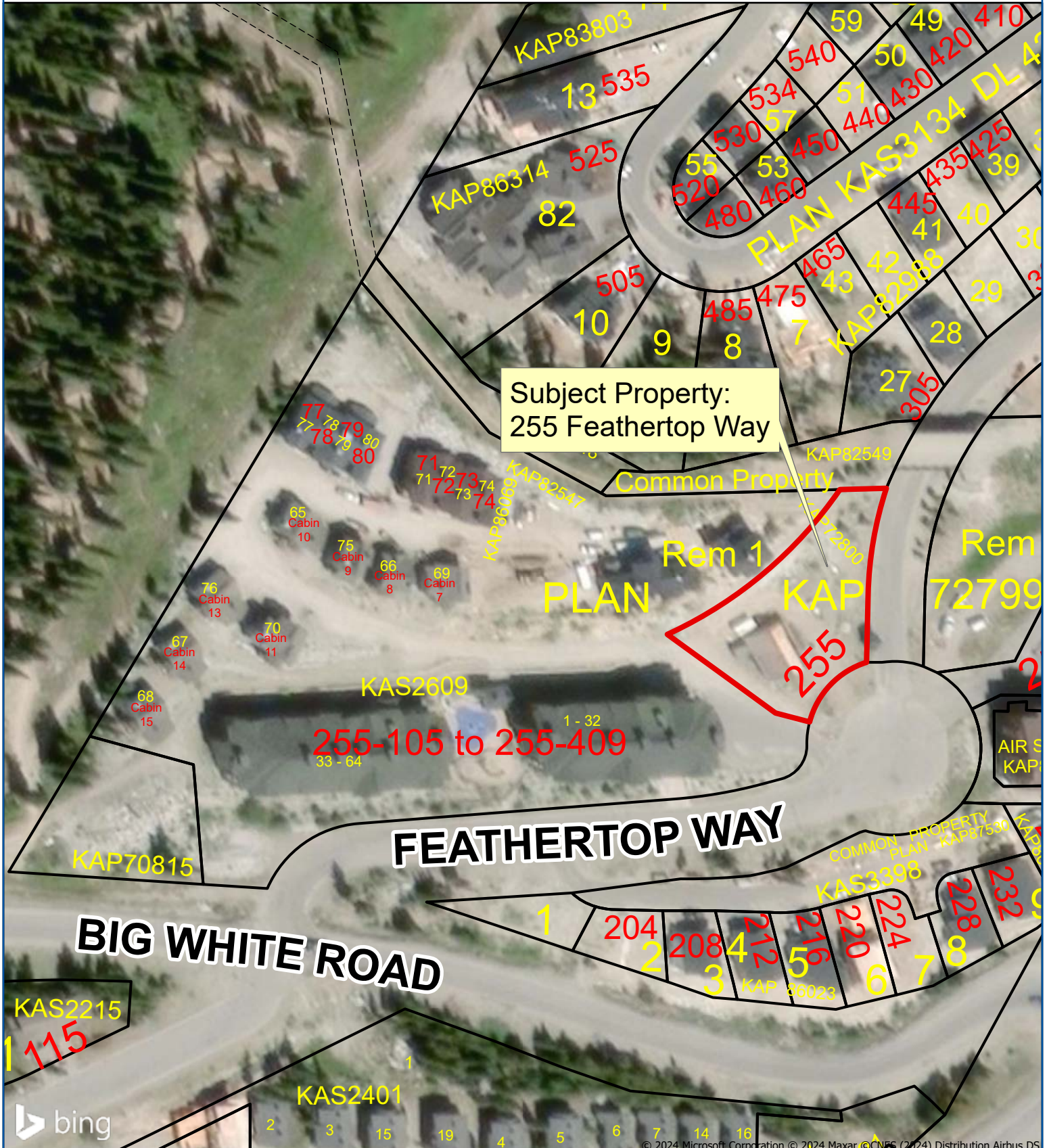
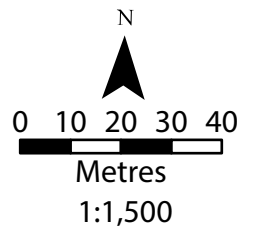


Regional District of  
Kootenay Boundary

Map Date: 2024-07-23

# Subject Property Map

Lot 1,  
Plan KAP72799, DL 4222,  
SDYD



June 18<sup>th</sup>, 2024

Regional District of Kootenay Boundary  
Development Services Department  
202-843 Rossland Ave  
Trail, BC V1R 4S8

Dear Sir/Madam,

**Re: Development Permit Amendment Application for Units 86-89, 255 Feathertop Way, Big White**

We are writing to request an amendment to the originally approved development permit (DP 243H-22D) for the construction of a 4-plex building at Units 86-89, 255 Feathertop Way, Big White. After thorough evaluations and consultations, we identified several critical reasons necessitating this amendment. Below, we outline these reasons for your consideration:

**1. Relocation of the Proposed Building**

Upon further inspection, our civil engineer advised that the originally proposed location for the 4-plex building was too close to the existing water main on site. To adhere to safety standards and ensure the integrity of essential infrastructure, we have moved the building to a location deemed more appropriate by the civil engineer. This adjustment still meets all setback requirements and will prevent potential damage to the water main and ensure the long-term viability of the development.

**2. Modification of Roof Lines**

Feedback from the strata and the previous developer highlighted significant issues with the existing roof design on older buildings. Specifically, the flat roof sections over the front entrances caused considerable snow accumulation, leading to structural strain and the need for dangerous manual snow removal. Additionally, these flat sections contributed to ice-damming during shoulder seasons. In response, we have modified the roof lines of the new 4-plex to mitigate these issues, thereby enhancing safety and reducing maintenance concerns. A revised Snow Management letter has been drawn up and attached as well.

**3. Updating the Exterior Design**

The original design of the building, conceived in 2001, is now somewhat dated. To maintain aesthetic harmony with the recently completed Units 81 through 85 at 255 Feathertop Way, which received strata approval and sold quickly, we propose updating the exterior of the new 4-plex while maintaining its original footprint, form and character. The refreshed design will better suit the Big White mountain environment and align with the existing strata buildings, contributing to a cohesive and visually appealing community.

We believe these amendments will not only address practical concerns but also enhance the overall appeal and functionality of the development. We kindly request your approval of these changes to ensure the project proceeds with these necessary improvements.

Thank you for your attention to this matter. We are available to discuss any details or provide further information as required.

Sincerely,



**Jeff Houghton, Builder & Developer**

Owner, H&H Custom Homes

*2023's Single Family Home Builder of the Year*

Owner, Okanagan Infill

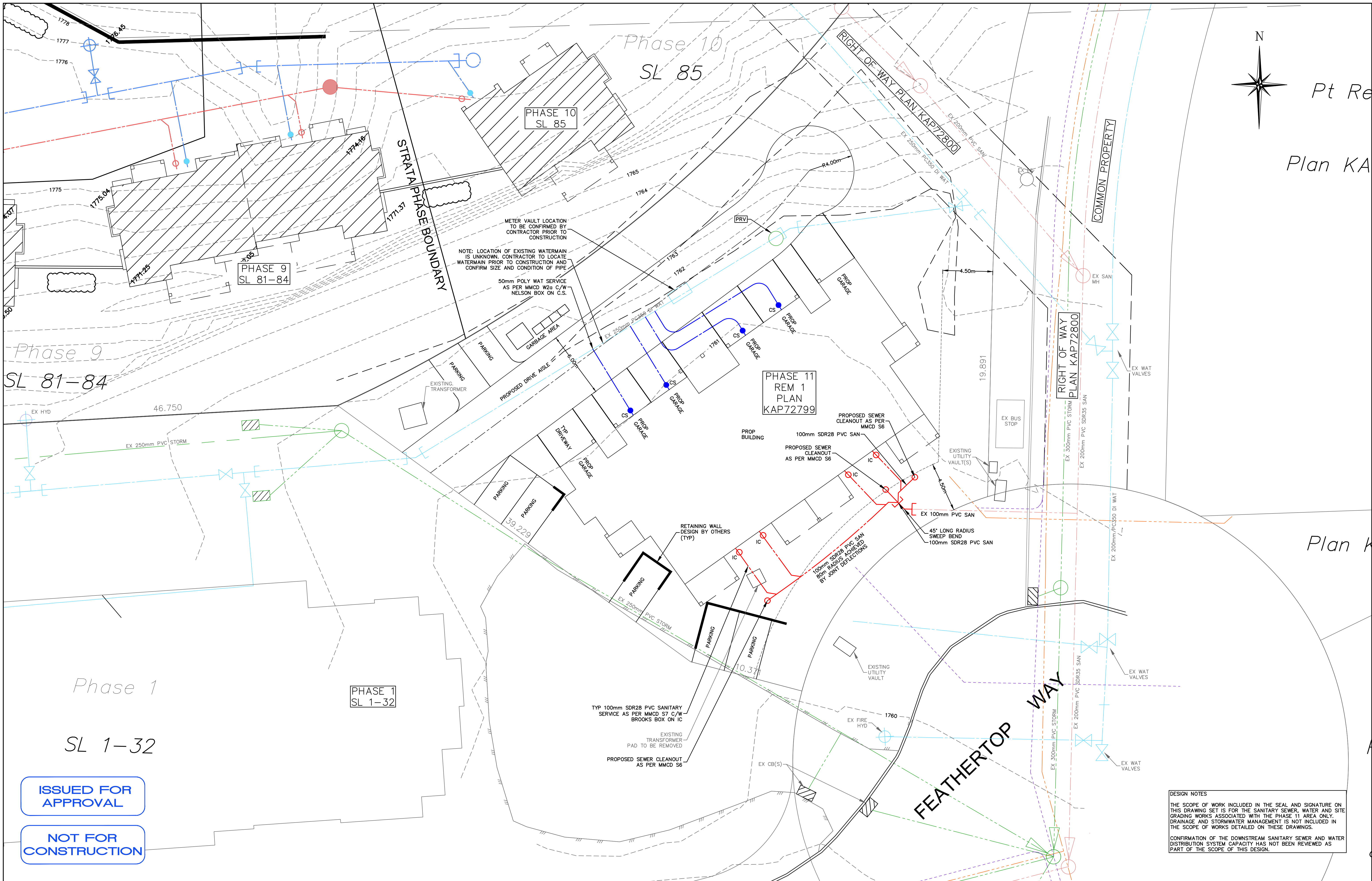
101-540 Groves Avenue, Kelowna BC, V1Y 4Y7











ISSUED FOR APPROVAL

NOT FOR CONSTRUCTION

DESIGN NOTES

THE SCOPE OF WORK INCLUDED IN THE SEAL AND SIGNATURE ON THIS DRAWING SET IS FOR THE SANITARY SEWER, WATER AND SITE GRADING WORKS ASSOCIATED WITH THE PHASE 11 AREA ONLY. DRAINAGE AND STORMWATER MANAGEMENT IS NOT INCLUDED IN THE SCOPE OF WORKS DETAILED ON THESE DRAWINGS.

CONFIRMATION OF THE DOWNSTREAM SANITARY SEWER AND WATER DISTRIBUTION SYSTEM CAPACITY HAS NOT BEEN REVIEWED AS PART OF THE SCOPE OF THIS DESIGN.

**LEGEND**

WATER		EX. MANHOLE		WATER CURB STOP	
SAN. SEWER		PROP. MANHOLE		SANITARY INSPECTION CHAMBER	
STORM SEWER		POWER POLE		STORM INSPECTION CHAMBER	
GAS		LAMP STANDARD		TRANSFORMER - POWER	
U/G UTILITY (ALIGNMENT)		CATCH BASIN		SERVICE BOX	
		HYDRANT			
		SURVEY MONUMENT			

**PROTECH CONSULTING**

300 - 3275 Lakeshore Rd Kelowna B.C. Phone 860-1771

PERMIT TO PRACTICE NO.: 1001403

NO.	DATE	BY	REVISION	CH'KD
5	2024.06.21	CJP	ISSUED FOR APPROVAL	KCL
4	2024.03.21	CJP	ISSUED FOR APPROVAL	KCL
3	2024.02.09	CJP	ISSUED FOR COORDINATION	KCL
2	2024.02.07	CJP	ISSUED FOR COORDINATION	KCL
1	2024.02.01	CJP	ISSUED FOR COORDINATION	KCL

DRAWN	CJP
DESIGN	CJP
APPROVED	KCL
DATE	FEB 2024
SCALE	1:150

REGIONAL DISTRICT OF KOOTENAY BOUNDARY  
ENGINEERING DEPARTMENT

**H&H CUSTOM HOMES**  
255 FEATHERTOP WAY - PHASE 11  
COMPOSITE UTILITY PLAN

DIVISION	DRAWING NO.	REV. NO.
	22062-102	5

FILE LOCATION: P:\PROJECTS\22062 - 255 Feathertop Way\1 - CAD FILES\3 - Preliminary Design\22062-102.dwg  
PLOT DATE: 6/22/2024  
1:50









● ROOF  
37' - 11"

● SECOND FLOOR CEILING  
28' - 3 1/2"

8' - 0 3/4"

● SECOND FLOOR PLAN  
20' - 2 3/4"

● MAIN FLOOR CEILING  
19' - 2 1/8"

9' - 0 3/4"

● MAIN FLOOR PLAN  
10' - 1 3/8"

● FIRST FLOOR CEILING  
9' - 0 3/4"

9' - 0 3/4"

● FIRST FLOOR  
0' - 0"



FRONT ELEVATION  
1/4" = 1'-0"

● ROOF  
37' - 11"

● SECOND FLOOR CEILING  
28' - 3 1/2"

● SECOND FLOOR PLAN  
20' - 2 3/4"

● MAIN FLOOR CEILING  
19' - 2 1/8"

● MAIN FLOOR PLAN  
10' - 1 3/8"

● FIRST FLOOR CEILING  
9' - 0 3/4"

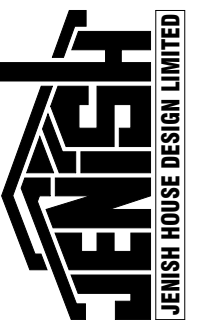
● FIRST FLOOR  
0' - 0"



REAR ELEVATION  
1/4" = 1'-0"

HEAD OFFICE:  
201-688 COMMERCE AVE  
FLOWERS, NC - VTX 849  
12310/2023/34  
TOLL FREE 1-888-488-9235

JENISH HOUSE DESIGN LIMITED



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REFERENCE:  
CUSTOM

DRAWN:  
AD

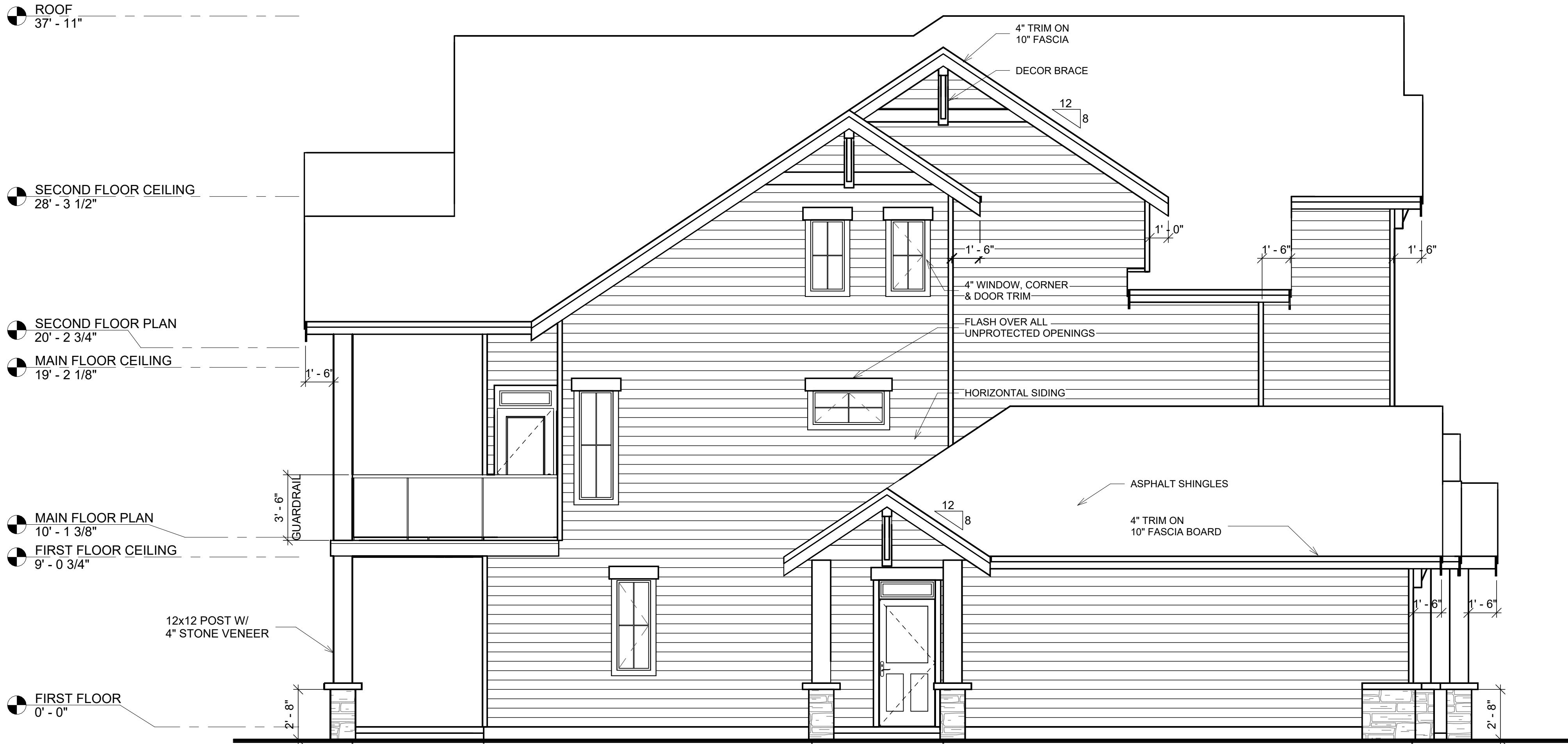
CHECKED:  
TB

DATE:  
FEB '23

SCALE:  
AS NOTED

SHEET:  
6 OF 8

PLAN NUMBER:  
C8-4-113



LEFT ELEVATION

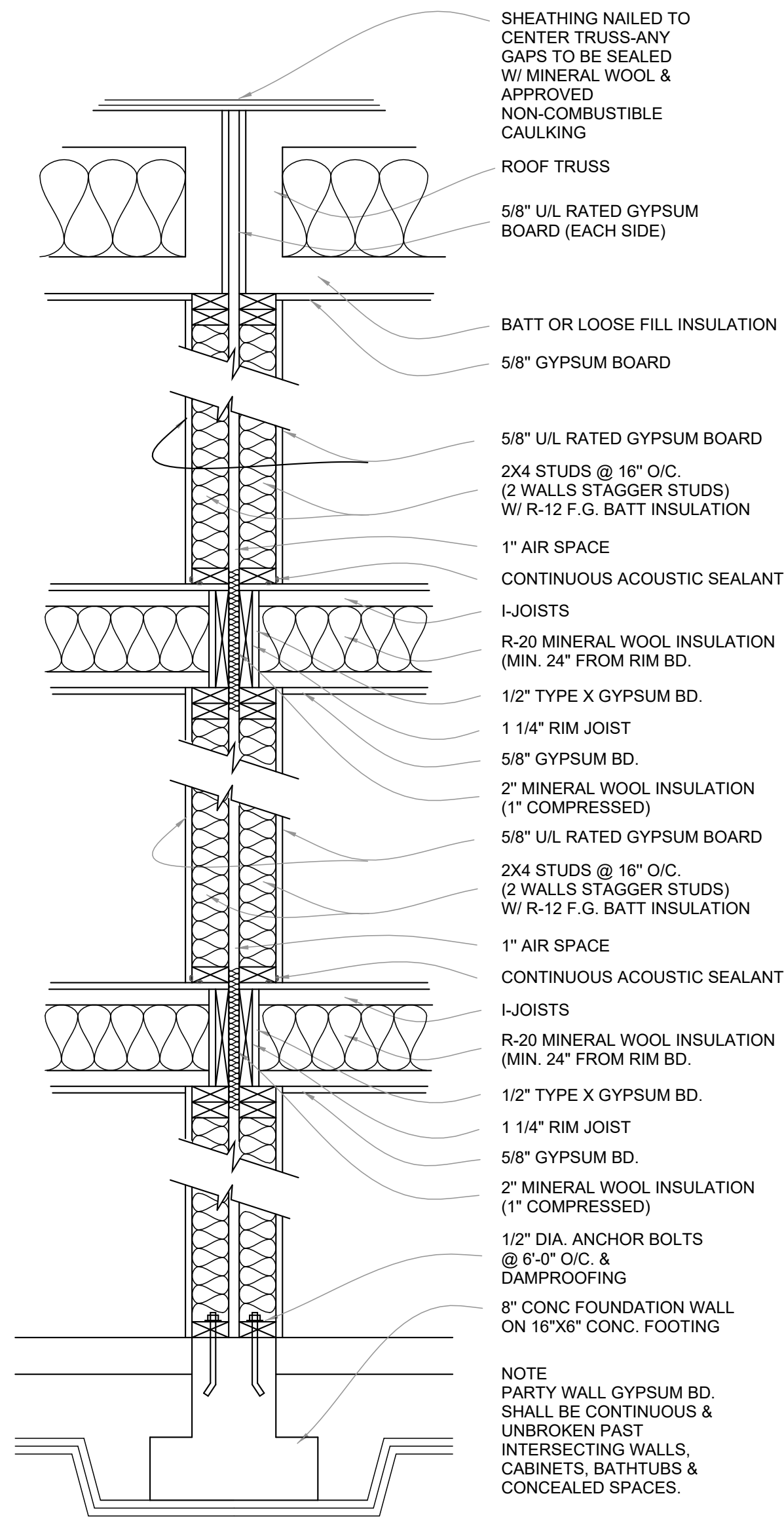
1/4" = 1'-0"

NOTE:  
GLASS AREA MAY NEED TO BE  
REDUCED DUE TO LIMITING DISTANCE  
CONFIRM WITH LOCAL BY LAWS &  
BUILDING CODE.



RIGHT ELEVATION

1/4" = 1'-0"



PARTY WALL DETAIL

1/4" = 1'-0"



2024-05-31

Regional District of Kootenay Boundary  
Planning Department  
202 – 843 Rossland Avenue  
Trail, British Columbia V1R 4S8

**RE: SNOW MANAGEMENT STRATEGY-SUNDANCE RESORT AT BIG WHITE, BC. PHASE 11**

To Whom it May Concern:

The 4-Plex building for Phase 11 at the Sundance Resort at Big White have been designed to incorporate the previously established snow management strategies for this project created by Raymond Letkeman Architects Inc. A copy of which has been provided with this letter for reference.

List below are the strategies that we incorporated specific to Phase 11 to ensure that people and property are protected in a reasonable manner from the risk of snow shedding:

1 - The roof system(s) have been designed to optimize cold roof design principles. In cold weather areas and particularly in mountain regions that experience very heavy snowfall, the cold roof - or vented roof system - is recommended. The principle of this system is to allow a constant flow of cold air above the insulation but below the roofing material. With other roofing systems, ice buildup along the eaves can be a problem. Heat escapes from the insulation and melts snow, which runs down the roof to the cold overhangs where it freezes, causing water to back up and sometimes penetrate the roof systems. A properly installed, vented cold roof eliminates this problem. Venting space should be sufficient to allow a free flow of air from eave to ridge. Our design(s) maximizes attic insulation space and provides optimal ventilation to address these concerns.

2 – The roof systems(s) have been designed with a roof slope of 8/12. All roofing areas are to be installed with full “Ice and water shield” membrane. Sheet metal will be installed on the bottom perimeter 18-24” to discourage potential ice damming. Additionally, the roof system(s) have been designed to shed as much snow as possible away from pedestrian areas and all entry points to the structures have been designed with covered roofs. Further, each structure has been designed to have a minimum two entry points. Snow retention devices (clips) are to be installed in areas where snow may accumulate in pedestrian’s accessible areas.

3 – Snow load monitoring and roof maintenance recommendations/guidelines provided by National Home Warranty Program will be given to homeowners/occupants and the Strata Corporation upon possession. Contractors are to be hired to remove snow as required to adhere to these guidelines.

DocuSigned by:  
  
Signed: E672E75D9C504EE...  
6/13/2024

Jeff Houghton, H&H Custom Homes, Builder & Developer

DocuSigned by:  
  
Signed: D888B808FCC04BF...  
6/13/2024

Trevor Beatty, Jenish House Design Ltd., Architectural Plan Designer

DocuSigned by:  
  
Signed: 9827FC1A05434E...  
6/13/2024

Gayan Illangakoon, KO Structural Engineer, P.Eng, MAsC.





RAYMOND  
LETKEMAN  
ARCHITECTS  
inc  
.....

200-970 Homer St  
Vancouver BC  
Canada V6B2W7

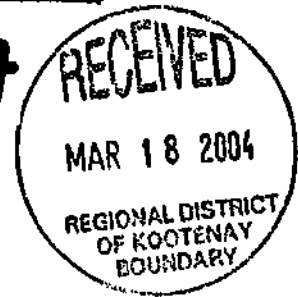
Tel 604 669 3339  
Fax 604 669 3651  
www@rlal.com  
.....

## DEVELOPMENT

PERMIT NO. 243606D

March 5, 2004

## SCHEDULE 4



Regional District of Kootenay Boundary  
202 - 843 Rossland Avenue  
Trail, British Columbia V1R 4S8

Attention: Donna Dean,  
Assistant Planner

### RE: SNOW MANAGEMENT STRATEGY - SUNDANCE RESORT AT BIG WHITE RESORT, B.C.

Dear Donna:

The building for this project has been designed to incorporate the following snow management strategies:

1. Cold roof design is used to minimize the effects of freeze / thaw cycles caused by warm attic spaces. Roofs are designed with R40 or greater attic insulation and with a minimum 1/150 ratio for attic ventilation. Well ventilated attic spaces are to be achieved by continuous soffit venting at eaves and with roof ridge venting.
2. The buildings are designed with asphalt roof shingles with roof slopes ranging between 6/12 and 12/12. Low slope roofs (minimum 4/12 roof pitch) and / or flat roofs are used in some locations where roofs are to retain snow. All roofs are to have full "ice and watershield" membrane.
3. All flat roofs are to be heat traced and shall have heat traced drains and heat traced rain water leaders where necessary.
4. Snow retention devices (clips) are used where roofs are to retain snow; in particular where snow cannot be shed away from pedestrian accessible locations in proximity to the roof eave line.
5. Pedestrian entries / exits are covered by roof structures.
6. Gable roof forms are typically located over building entries / exits to divert snow from the roof away from pedestrian access points.
7. Stairs and ramps to principle entries / emergency access locations at the condominium buildings are to be heat traced.
8. The pool deck area will be heat traced according to the British Columbia Health Act requirements.
9. Barriers, guards and railings are used to prevent pedestrian / occupant access into roof snow shed hazard areas at all ground floor units of the condominium buildings.



**SNOW MANAGEMENT STRATEGY**  
**SUNDANCE RESORT AT BIG WHITE RESORT, B.C.**

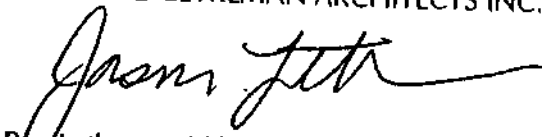
**March 5, 2004**

**Page 2**

10. Snow management of roads and the parkade driveway should be maintained by the ownership management agent. Snow and / or icicle build-up on roofs should be monitored and removed by the ownership management agent when and if necessary.

Yours truly,

RAYMOND LETKEMAN ARCHITECTS INC.

*for*   
Ray Letkeman MAIBC

RL/dh

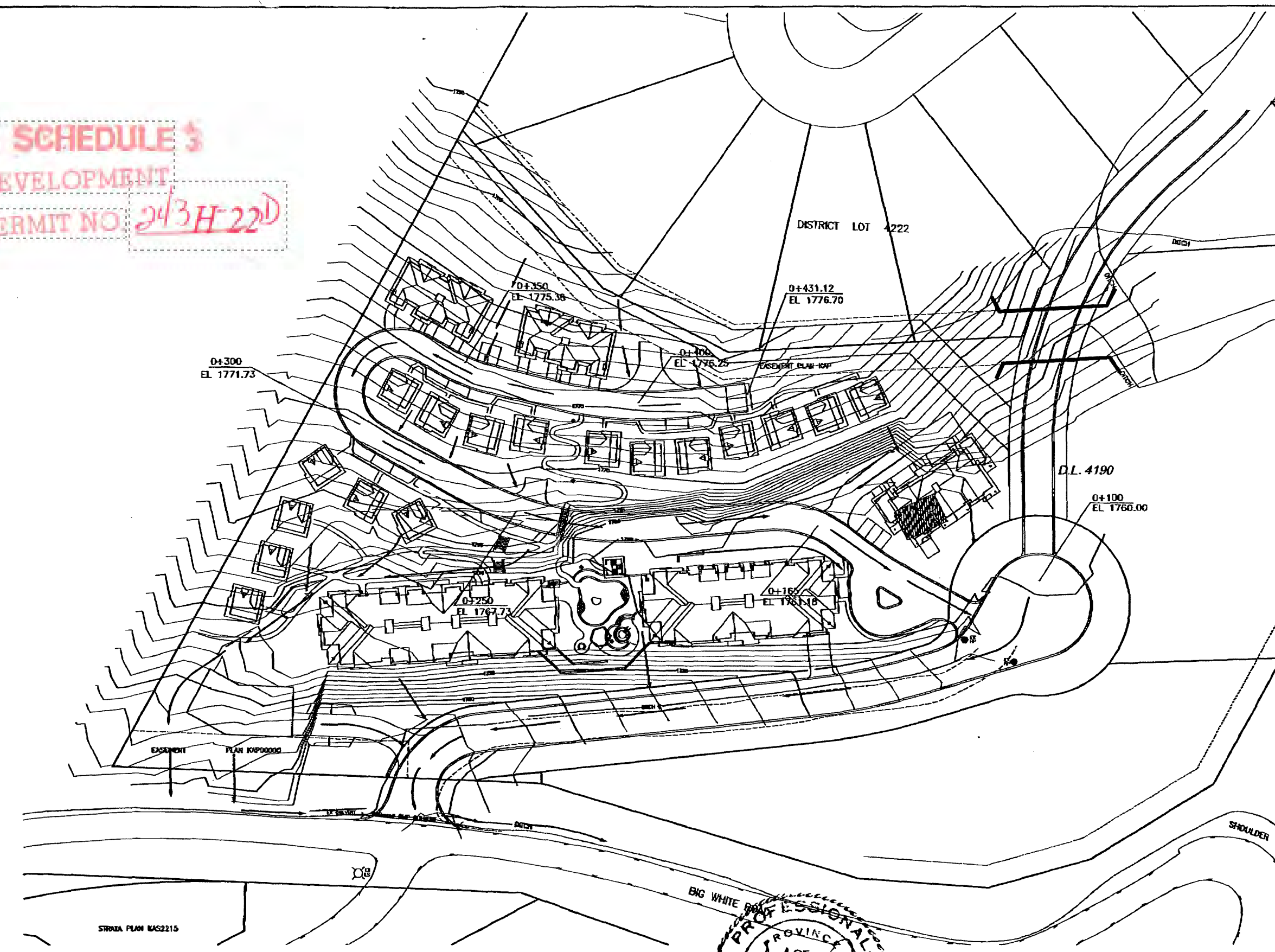
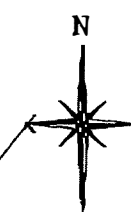
**DEVELOPMENT**

**PERMIT NO. 243G-06D**

**SCHEDULE 4**



SCHEDULE 3  
DEVELOPMENT  
PERMIT NO. 243H-22D



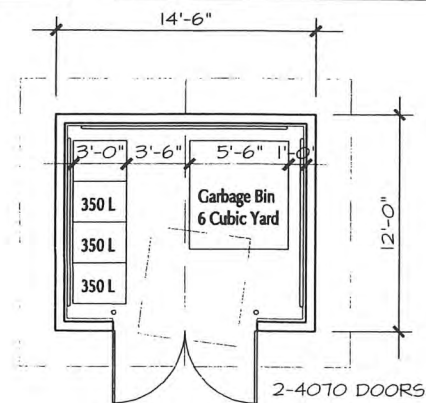
<b>Legend</b> Water _____ San. Sewer _____ Storm Sewer _____ Gas _____ U.G. Telephone _____ U.G. Electrical _____  Manhole _____ Power Pole _____ Lamp Standard _____ Catch Basin _____ Hydrant _____ Tree _____  D.W. _____ P.P. _____ C.L.S. _____ S.A. _____ S. _____	<table border="1"><thead><tr><th>No.</th><th>Date</th><th>By</th><th>Revisions</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>	No.	Date	By	Revisions																	<b>PROTECH CONSULTANTS 1989 LTD.</b> 200 - 1448 St. Paul Street Kelowna B.C. Phone 860-1771 FAX 860-1094  <b>PROFESSIONAL ENGINEER</b> JOHN A. CASSETT BRITISH COLUMBIA DEC 17 1992	<b>REGIONAL DISTRICT OF KOOTENAY BOUNDARY</b>		Drawing No. 0185-S1 Revised 0
		No.	Date	By	Revisions																				
<b>BIG WHITE PROPOSED LOT 1 STORM MANAGEMENT PLAN</b>																									

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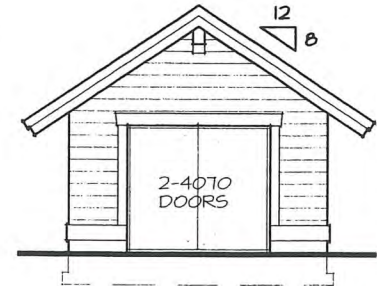
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# DP243H-22D Schedule 6

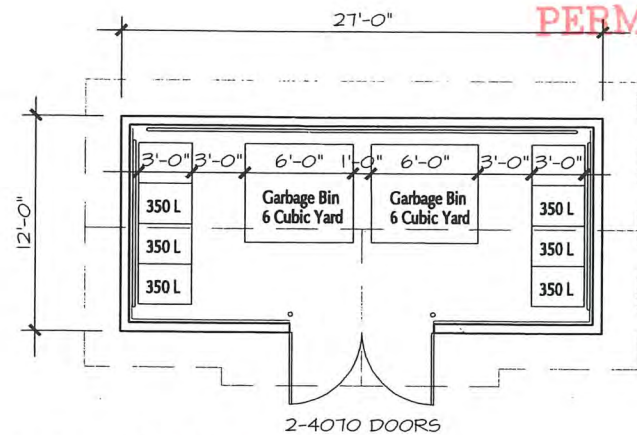
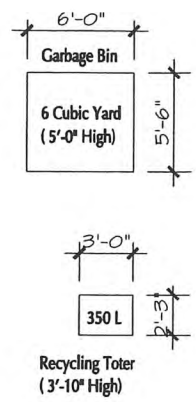


Floor Plan  
Garbage/Recycling Bldg. - Phase 1  
3/16" = 1'-0"

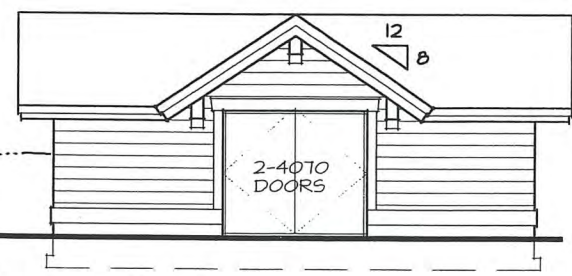


Front Elevation

**SCHEDULE 6**  
DEVELOPMENT  
PERMIT NO. 243.031



Floor Plan  
Garbage/Recycling Bldg. - Phase 3  
3/16" = 1'-0"



Front Elevation

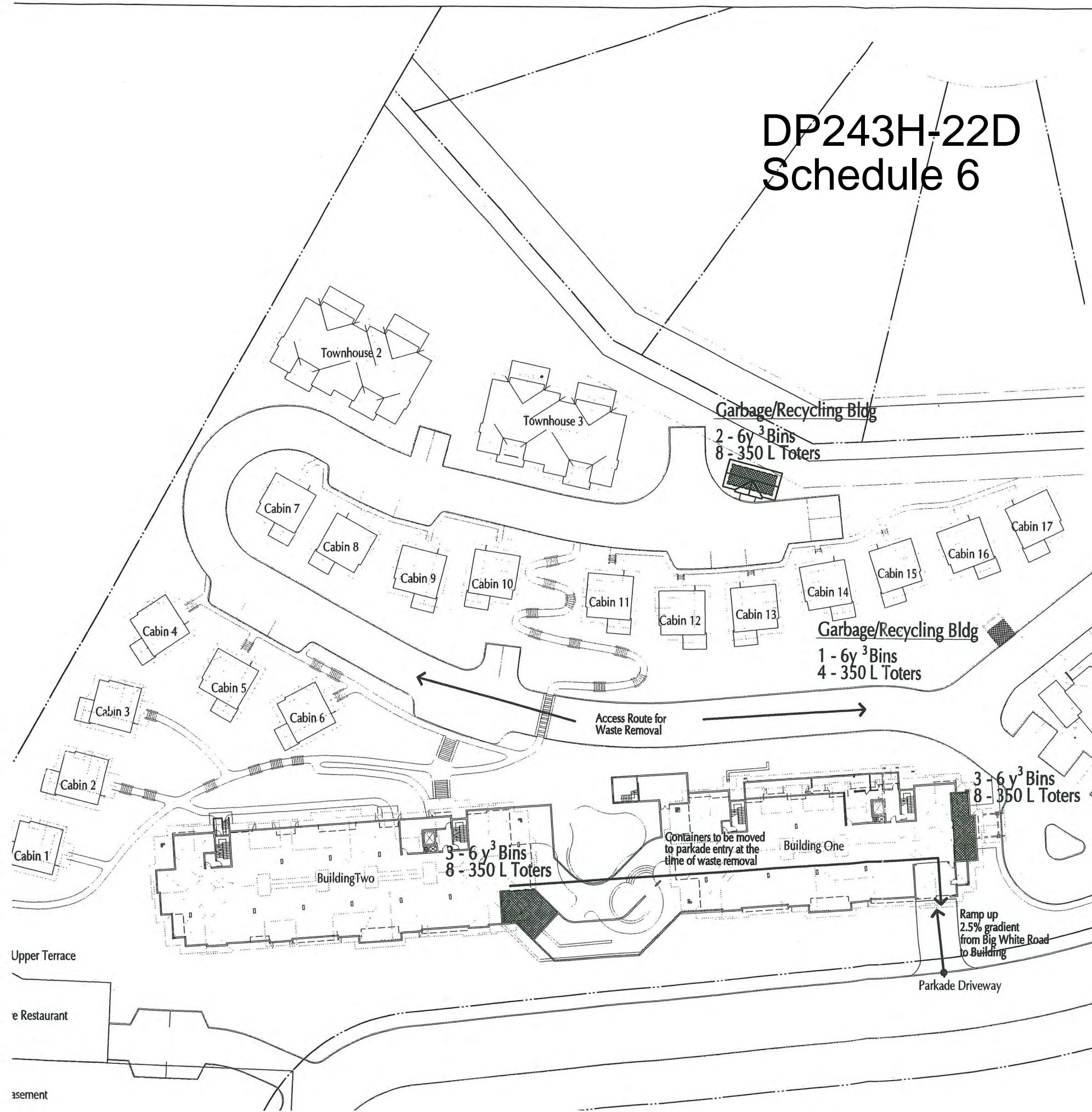
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JANUARY 24, 2003  
ISSUED FOR PRICING REVIEW  
JANUARY 17, 2003  
ISSUED FOR DEVELOPMENT PERM  
DECEMBER 10, 2002  
ISSUED FOR PRELIM. PRICING/RE  
NOVEMBER 25, 2002  
Revisions:  
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in any way without the written permission of the architect.  
Consultant:

Project Title  
**Sundance Lodge**  
Big White, B.C.

For  
**LEGEND**  
RESORTS LTD.

Sheet Title  
**Waste Management Plan &  
Garbage Building**

Contract	
Drawn	
Checked	
Date	JANUARY 24, 2003
Scale	1" = 30'-0"
Checked	





**SCHEDULE 5**

**DP243H-22D Schedule 5**

**DEVELOPMENT**

**PERMIT NO. 243-03D**

**Stevenson + Associates**  
**Landscape Architects**

Suite 220  
1000 Roosevelt Crescent  
North Vancouver  
604-987-2477  
Fax. 604-987-2478  
Email. nova4@direct.ca

**SUNDANCE LODGE for Legends Resorts Ltd.**

**Project Number: 0216**

**Date:** December 10, 2002  
**To:** Mr. Mr. Jim Hammond  
**Legends Resorts Ltd.**  
#201 – 1449 St. Paul Street  
Kelowna, BC  
V1Y 2E5

**Development Permit Application – Big White Ski Resort**

*In response to the DP Checklist we have prepared the following:*

*As per the attached plans:*

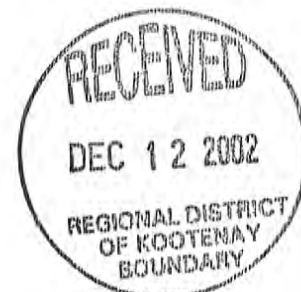
- 1.0 *Landscape reclamation and native landscape protection: All information for the required Landscape Reclamation Plan is shown on the Planting Plan sheet L-3. Approximately 50% of the site area is disturbed having been cleared and graded for use as a road and parking lot. The plans call for the installation of indigenous plant material in this site area including a hydro seeding of mountain grasses and wildflowers on all newly graded slopes. Walls, utilizing stacked rock boulders, have been kept to a minimum and larger trees have been specified to provide a maximum green and natural effect at the time of installation. In the area of the site containing native tree cover, smaller town house and cabin buildings have been introduced to more easily fit into treed areas with minimal disturbance. All site grading has been kept to a minimum to retain trees and native plants have been added to complete site repair in any disturbed areas allowing for as native a feel to the completed work as possible. Protection fencing will be installed prior to construction to protect native trees and under story areas. Please see Site Grading and Planting Plans sheet L-3 and L-4.*
- ✓ 2.0 *Snow management: Areas along all roadways and in newly established site meadow areas have been identified for use as snow storage areas. Snow storage zones at the ends of roads have been established and new planting areas have been pulled back to accommodate snow storage needs.*
- ✓ 3.0 *Snow management: The Layout Drawing sheet L-2 shows the dimensions of roads parking and the turning radii used to establish the fire truck turnaround and the turning and drop off lanes at the main building entry.*
- 4.0 *Skier Access: See Layout Plan Sheet L-2 for skier access digrams.*

Richard Stevenson



**Stevenson + Associates Landscape Architects**


**Cc. Jason Letkeman, Raymond Letkeman Architects**




















# Landscape Notes:

1. All landscape construction to meet the current edition of the BCNTA/BCSLA Landscape Standards as a minimal acceptable standard. Container plantings to the satisfaction of the BCNTA standards for container grown nursery stock.
2. Rootballs to be free of pernicious weeds. Sizes on plant list shall be considered minimum sizes.
3. Planting soil mixtures for the project shall be tested for particle size, pH, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Soil analysis report to be supplied to the Landscape Architect and approval given prior to installation of planting soil.
4. Provide positive grades away from buildings and towards lawn drains and catch basins.
5. Slope away from buildings at a minimum of 2%.
6. Planting soil depths shall be 4 inches in seeded meadow areas, 6 inches in sodded lawn areas, 10 inches in shrub and groundcover areas, and 12 inches on all sides and bottoms of rootballs.
7. Soft Landscaped areas to have automatic irrigation system providing pop-up spray heads for full coverage of all areas of planting.
8. Landscape Contractor to provide 1 year maintenance after the date of Substantial Completion. Maintain to level 1 "Premium" as per BCSLA and BCNTA standards. Contractor to provide a one year replacement guarantee for all plant material.
9. For information on Finish grading, soils, and trees, shrubs, and groundcovers, see Stevenson + Associates' Specifications.
10. Landscape Contractor is to confirm all plant counts.

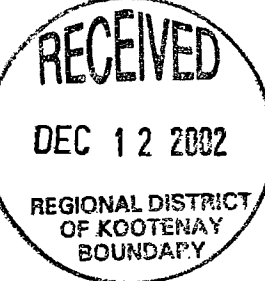
## REPARATION ZONE PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	200	Amelanchier alnifolia (interior)	Serviceberry	no. 1 pot	1.5m o.c.
	200	Cornus stolonifera	Redtwig Dogwood	no. 1 pot	1.5m o.c.
	200	Symphoricarpos albus	Snowberry	no. 1 pot	1.5m o.c.

## PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>Trees</b>					
	70	Populus tremuloides	Trembling Aspen	B45, 6cm cal	as per plan
	46	Populus tremuloides	Trembling Aspen	B45, 4cm cal	as per plan
	27	Picea glauca x Engelmannii	Hybrid White Spruce	B45, 3-4 m ht.	as per plan
	54	Picea glauca x Engelmannii	Hybrid White Spruce	B45, 2-3 m ht.	as per plan
	26	Picea glauca x Engelmannii	Hybrid White Spruce	B45, 1.5-2 m ht.	as per plan
	74	Picea omorika	Serbian Spruce	B45, 3-4 m ht.	as per plan
		Existing trees			
<b>Shrubs (750 sq.m.)</b>					
	200	Cornus stolonifera	Redtwig Dogwood	no. 3 pot	1.5m o.c.
	50	Elaeagnus commutata	Silver Berry	no. 3 pot	1.75m o.c.
	200	Pinus mugo mughus	Mugo Pine	no. 3 pot	1.0m o.c.
	100	Ribes alpinum	Alpine Currant	no. 3 pot	1.0m o.c.
	100	Rosa rugosa	Rugosa Rose	no. 3 pot	1.25m o.c.
	50	Spiraea japonica 'Little Princess'	Spiraea japonica	no. 3 pot	0.8m o.c.
	30	Spiraea nipponica 'Snowmound'	Spiraea nipponica	no. 3 pot	1.0m o.c.
<b>Groundcovers</b>					
	750	Arctostaphylos uva-ursi 'Massachusetts'	Kinnikinnick	10cm pot	0.45m o.c.
	200	Mahonia repens	Creeping Mahonia	no. 3 pot	0.5m o.c.
<b>Meadow</b>					
	8,850	Sq.M. Dawson's Country Meadow of BC Interiors (11 annuals and perennials with Festuca ovina)			

DP243H-22D  
Schedule 5



Issued for D.P. 12/10/02  
Issued for Review 12/01/02

Revisions  
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Consultants

**Stevenson + Associates**  
landscape architects  
Suite 220-1000 Burrard Centre  
North Vancouver, B.C. V7P 3A4  
ph: (604) 987-2477  
ph: (604) 987-2478

Project Title  
**Sundance Lodge**  
Big White, B.C.

For  
**Legend Communities Ltd.**

Sheet Title  
**Planting Plan**

Contract 0216  
Drawn ds  
Checked rs  
Date OCTOBER 30, 2002  
Scale 1"=50'-0"  
Sheet Number





Regional District of  
Kootenay Boundary

## Electoral Area E/ West Boundary-Big White Advisory Planning Commission (APC) Staff Report

<b>RE:</b>	Development Variance Permit – Cloutier (817-24V)		
<b>Date:</b>	August 6, 2024	<b>File #:</b>	2024-068 BW-4222-07500.715
<b>To:</b>	Members of the Electoral Area E/ West Boundary - Big White APC		
<b>From:</b>	Jordan Hallam, Planner		

### Issue Introduction

We received an application for a development variance permit from Sid Molenaar on behalf of Michael Cloutier and Deborah Cloutier to vary the minimum interior side parcel line setback at 765 Feathertop Way, Big White Mountain, in Electoral Area E/ West Boundary (*see Attachments*).

Property Information	
<b>Owner(s):</b>	Michael Cloutier and Deborah Cloutier
<b>Agent:</b>	Sid Molenaar
<b>Location:</b>	765 Feathertop Way
<b>Electoral Area:</b>	Electoral Area E/ West Boundary
<b>Legal Description(s):</b>	Strata Lot 23, Plan KAS3134, District Lot 4222, SDYD
<b>Area:</b>	0.06ha (0.17ac)
<b>Current Use(s):</b>	Single Family Dwelling
Land Use Bylaws	
<b>OCP No. 1185:</b>	Medium Density Residential
<b>DP Area:</b>	Commercial and Multiple Family/ Alpine Environmentally Sensitive
<b>Zoning No. 1166:</b>	Chalet Residential 3 (R3)
Other	
<b>ALR:</b>	Outside ALR
<b>Waterfront/Floodplain:</b>	Not Mapped
<b>Water Service Area:</b>	Big White Utilities
<b>Sewer Service Area:</b>	Big White Utilities
<b>Planning Agreement Areas:</b>	N/A

### History / Background Information

The subject property is located approximately 1km north of the Happy Valley Day Lodge at Big White Mountain, in Electoral Area E/ West Boundary. It is

designated as Medium Density Residential in Big White Official Community Plan Bylaw No. 1125 and is zoned Chalet Residential (R3) in Big White Zoning Bylaw No. 1166, 2001. A single family dwelling was constructed on the property in 2022 (*See Attachment #2-Subject Property Map*).

To the north lies Big White Ski Resort. To the east lies a privately owned residential parcel. To the south lies common strata property. To the west lies privately owned vacant residential land (*See Attachment #1-Site Location Map*).

An Alpine Environmentally Sensitive Landscape Reclamation Development Permit (693-21D) was previously issued in July 2021 for a single family dwelling, and an amendment was issued to the original Development Permit (693A-21D) in September 2021. Subsequently, a Building Permit was issued in March 2022 to construct the single family dwelling. A Development Permit Amendment has also applied for concurrently with this DVP application and has been provided to the APC in a separate report.

## **Proposal**

The applicant proposes to construct a new retaining wall that is approximately 12.2m along the front property line, and 5.5m along the west property line. The plans show that the retaining wall will be a maximum of 2.44m in height.

The applicant is requesting:

1. To vary the minimum interior side parcel line setback the along the western parcel line from 3.0m to 0m, a variance of 3.0m for the construction of a new retaining wall.

## **Implications**

For Development Variance Permit applications, the RDKB considers whether the proposed variance will:

- a) Resolve a hardship;
- b) Improve the development;
- c) Cause negative impacts to the neighbouring properties.

The applicants addressed the above points as such (see attachments for more specific details):

*"The reason for request is our driveway is so steep and has such a short turning radius it is not functionable to park and walk to the front door/garage. Currently with a truck you need to a three point turn to enter driveway to garage (sic). My wife slipped and broke her ankle in early December trying to get from the car to the garage door with some groceries.*



*This request would allow us to have a wider turning radius (replacing the exiting boulder wall which runs along west property line with 0 setback with a enginnered magum block system) and to take out the steepness out of the driveway allowing longer distance to make grade (sic). This would make it safer for our family and visitors to our chalet. Unfortunatly at Big White you can not park on the strata roads (sic). The retaing wall was enginnered by Geo Pacific Consultants Enginnering of Kelowna (sic)".*

## **Attachments**

- 1-Site Location Map
- 2-Subject Property Map
- 3-Applicant's Submission Package



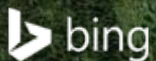
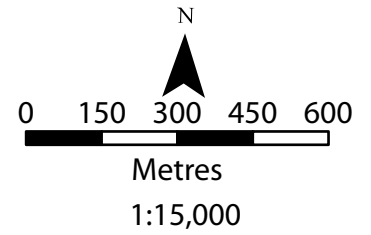


Regional District of  
Kootenay Boundary

Map Date: 2024-07-22

# Site Location Map

Strata Lot 23,  
PLAN KAS3134, DL 4222,  
SDYD



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Document Path: P:\PD\3200 Properties Titled\07 Area E (Big White)\BW-4222-07500.715 Cloutier\2024-068-DVP\Mapping\2024-07-22\_RoutineMaps\_BW-4222-07500.715.aprx



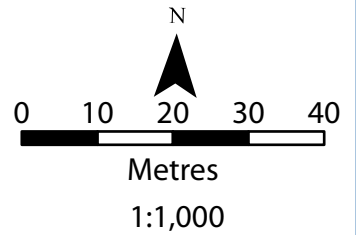


Regional District of  
Kootenay Boundary

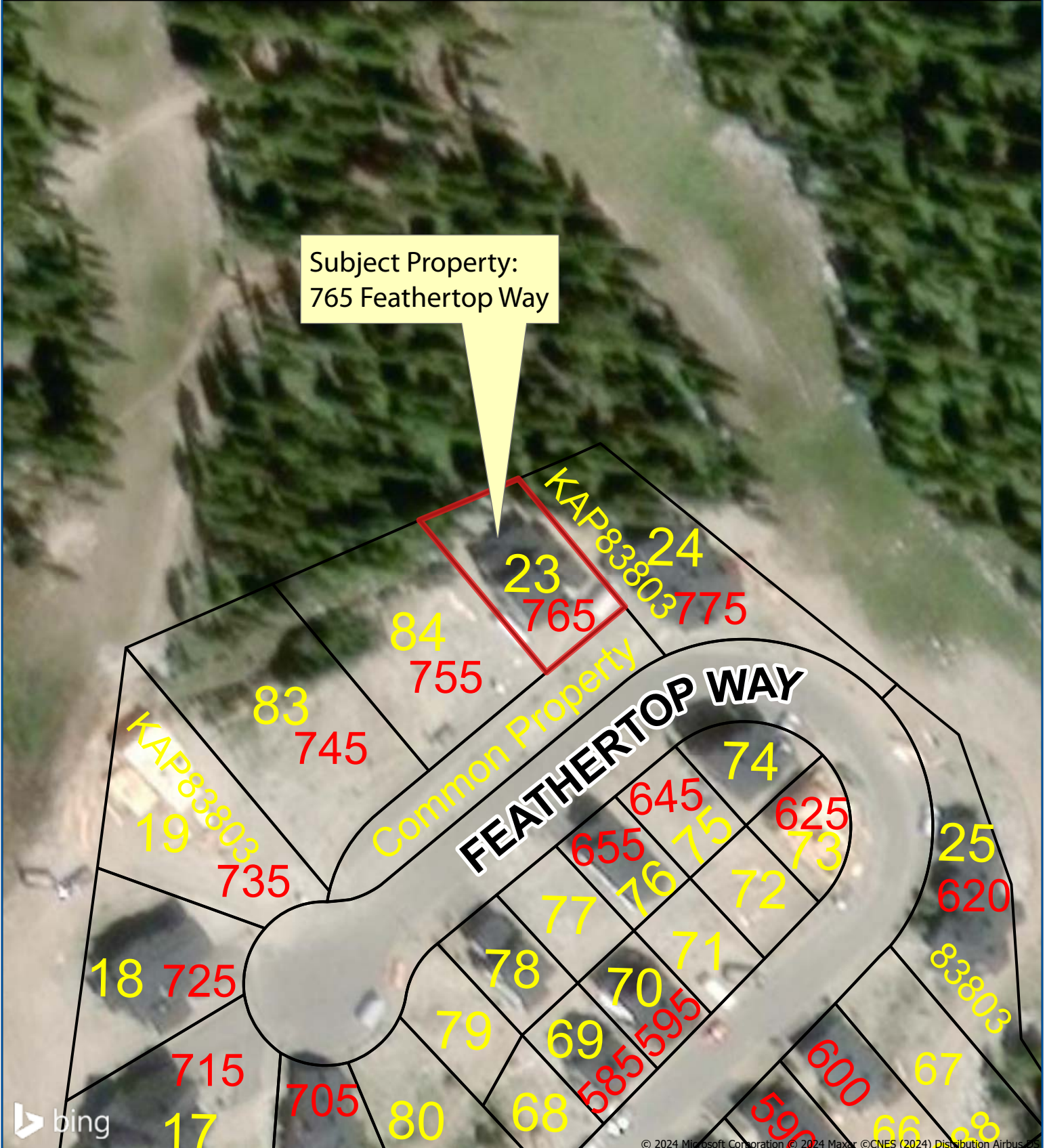
Map Date: 2024-07-22

# Subject Property Map

Strata Lot 23,  
PLAN KAS3134, DL 4222,  
SDYD



Subject Property:  
765 Feathertop Way



### Property Details:

Civic Address (s):	765 FeatherTop Way Big White
Road access (what road is driveway accessed from):	FeatherTop Lane
Parcel Identifier(s) (PID):	026-905-965
Full legal description (s) of land:	Strata Lot 23 Plan KAS3134, DL 4222, Legal Description: Together with an Interest in Common Property in Porportion to the Unit Entitlement of Strata.

### Site Disclosure Statement

**Schedule 2 uses are listed in B.C. Contaminated Sites Regulation 375/96.**

It a list of industries, operations and activities related to chemical, electrical equipment, metal smelting, processing or finishing, mining, milling, petroleum and natural gas drilling, production, processing, retailing and distribution, transportation, waste disposal and recycling, wood, pulp and paper products, and other miscellaneous or related industries and activities.

BC's Contaminated Site investigation requirements (initial applicable box):

<input type="radio"/>	Schedule 2 Uses have occurred on the property in the past (If so, Attach a Site Disclosure Statement)
<input checked="" type="radio"/>	Schedule 2 Uses have not occurred on the property in the past (Site Disclosure Statement is N/A)
<input type="radio"/>	Exempt from Site Disclosure Statement (OCP Amendment only, Development Variance Permit only, previous Ministry determination)

### Proposal Description:

**Required Section:** the space below is provided to describe the proposed development. Additional pages may be attached.

We request a development variance permit for our retaining wall at zero meters from 3 meters setback, on the west side of property line. Lot 23, 765 FeatherTop Way Big White.

~~An amendment to the development permit (693A-21D) is required as the proposal falls within the Alpine Environmentally Sensitive Landscape Reclamation Development Permit Area and is not in substantial compliance with the approved permit.~~

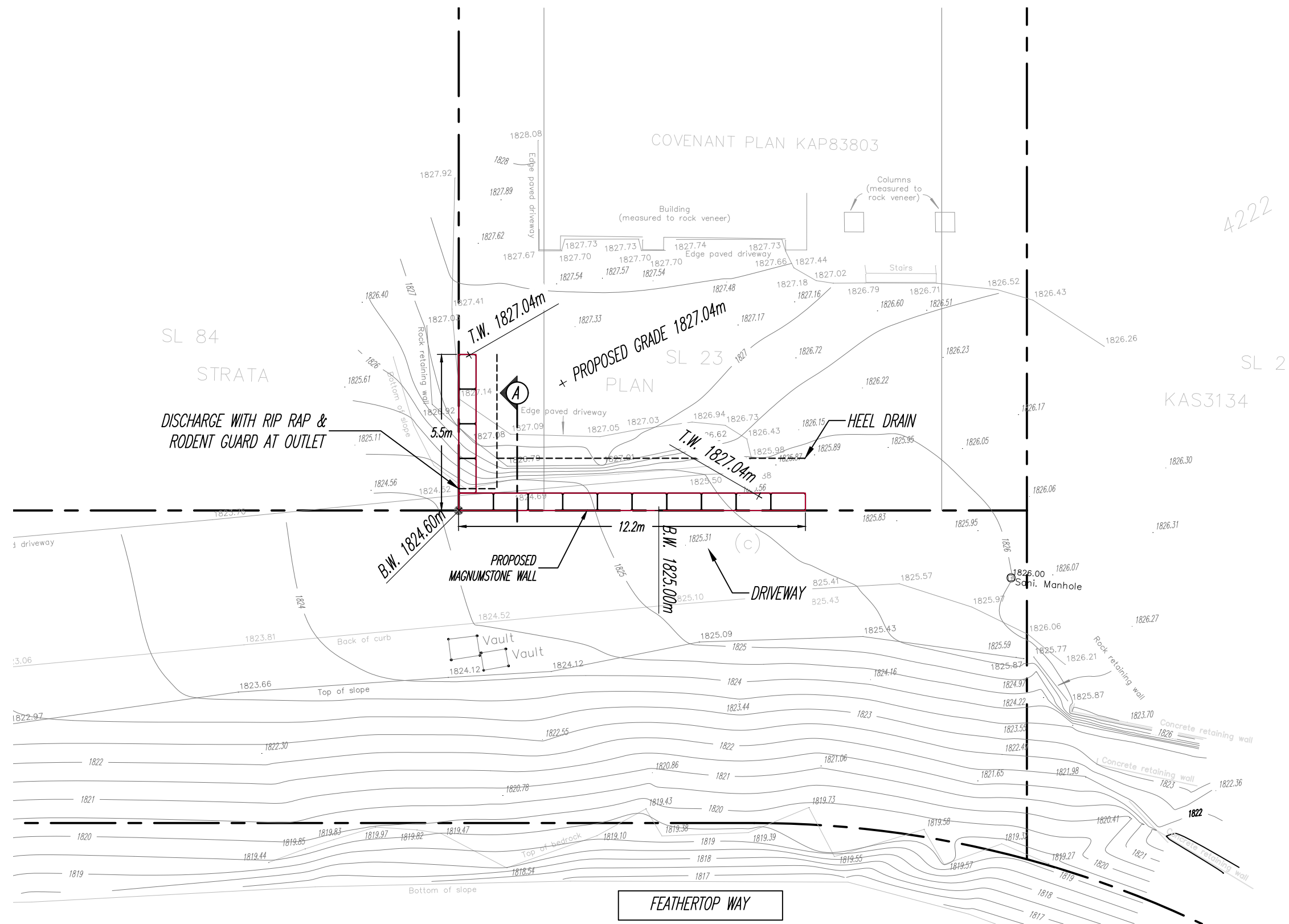
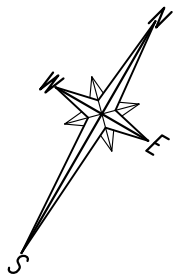
-The site plan shows the retaining wall at 0m on the west property line. The Zoning Bylaw requires a 3m interior setback.

The reason for request is our driveway is so steep and has such a short turning radius it is not functionable to park and walk to the front door / garage. Currently with a truck you need to a three point turn to enter driveway to garage. My wife slipped and broke her ankle in early December trying to get from the car to the garage door with some groceries.

This request would allow us to have a wider turning raduis( replacing the exiting boulder wall which runs along west property line with 0 setback with a enginnered magum block system) and to take out the steepness out of the driveway allowing longer distance to make grade. This would make it safer for our family and visitors to our chalet. Unfortunately at Big White you can not park on the strata roads. The retaing wall was enginnered by Geo Pacific Consultants Enginnering of Kelowna.



ISSUED FOR PERMIT



NOTES:  
-EXISTING STACKED ROCK RETAINING WALL TO BE REMOVED, PRIOR TO NEW WALL CONSTRUCTION.

LEGEND:

- PROPERTY LINE
- TW 00.00 - PROPOSED TOP OF WALL ELEVATION
- BW 00.00 - PROPOSED BOTTOM OF WALL ELEVATION
- [Red outline] - MAGNUMSTONE LOCK-BLOCK WALL LOCATION
- ~ - EXISTING CONTOURS
- - EXISTING SPOT ELEVATIONS

SITE PLAN  
SCALE = 1:150

REFERENCE:  
SURVEY: RUNALLS DENBY  
FILE NO. 16684  
DATE: DECEMBER 23-2023 (RECEIVED)



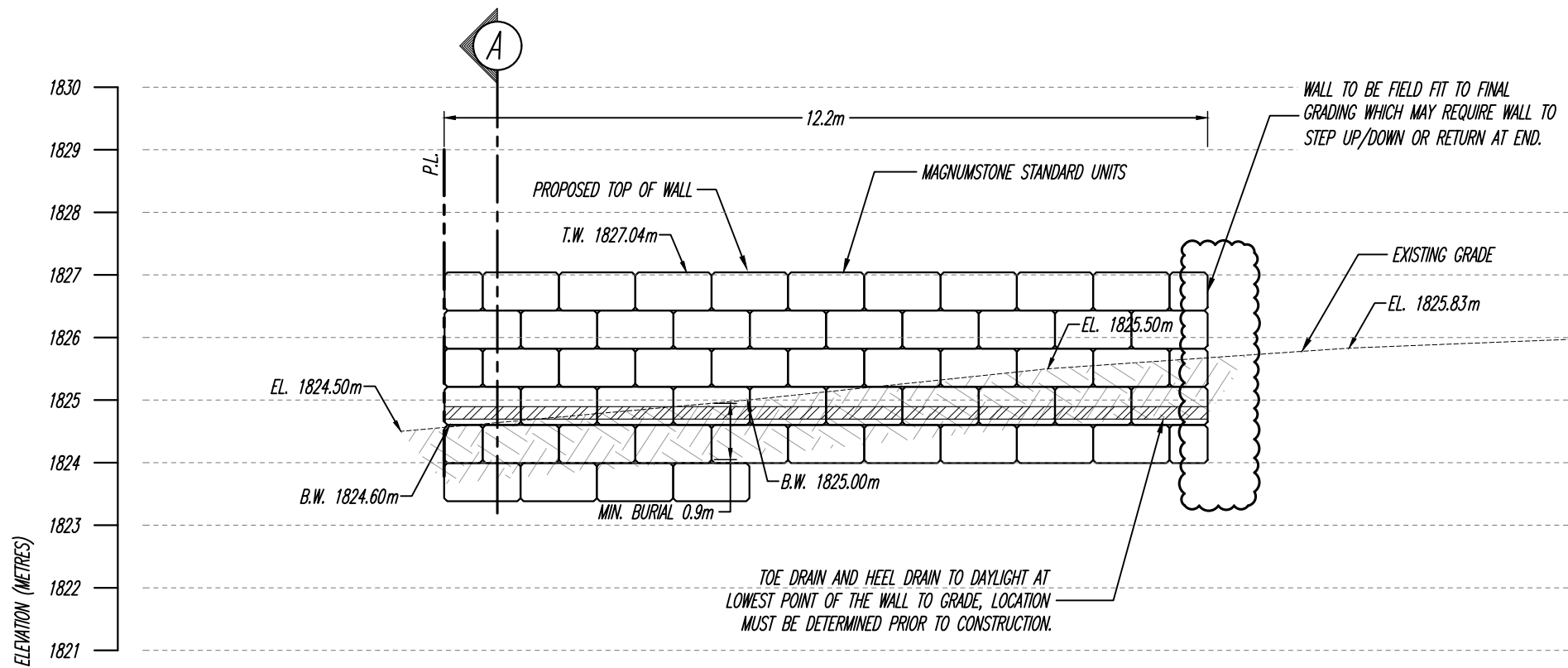
DATE: JANUARY 20, 2024  
DRAWN BY: C.A. APPROVED BY: K.B. REVIEWED BY: H.B.  
SCALE: AS SHOWN

LOT 23 MAGNUMSTONE RETAINING WALL  
LOT 23, 765 FEATHERTOP WAY, BIG WHITE, BC  
MAGNUMSTONE LOCK BLOCK - SITE PLAN

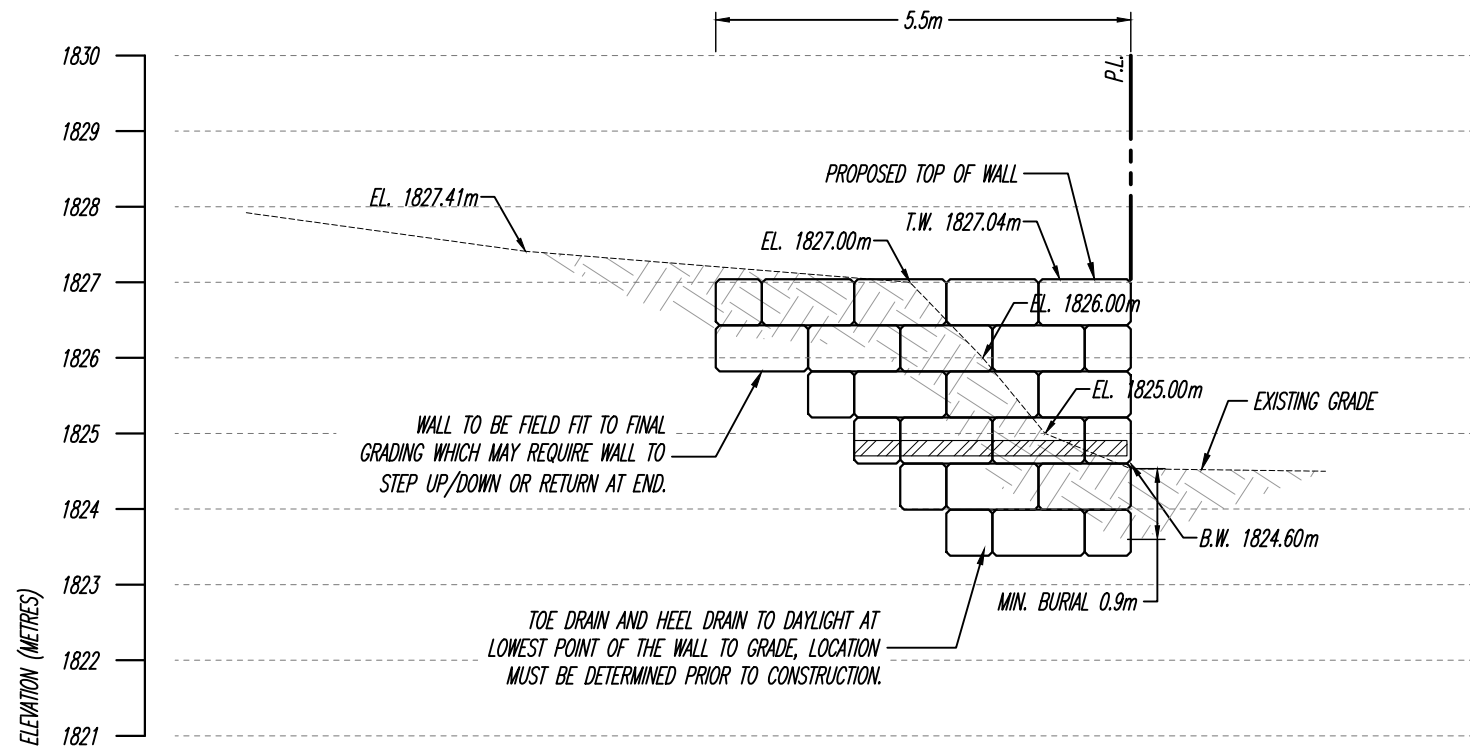
FILE NO.: 23486  
DWG. NO.: G-RW1

REVISIONS:  
A. JUNE 08, 2024 - UPDATED WALL LOCATION  
B.  
C.





**SOUTH WALL ELEVATION**  
SCALE = 1:100



**EAST WALL ELEVATION**  
SCALE = 1:100

**LEGEND:**  
TW 00.00 - PROPOSED TOP OF WALL ELEVATION  
BW 00.00 - PROPOSED BOTTOM OF WALL ELEVATION

REFERENCE:  
SURVEY: RUNALLS DENBY  
FILE NO. 16684  
DATE: DECEMBER 23-2023 (RECEIVED)



DATE: JANUARY 20, 2024  
DRAWN BY: C.A. APPROVED BY: K.B. REVIEWED BY: H.B.  
SCALE: AS SHOWN

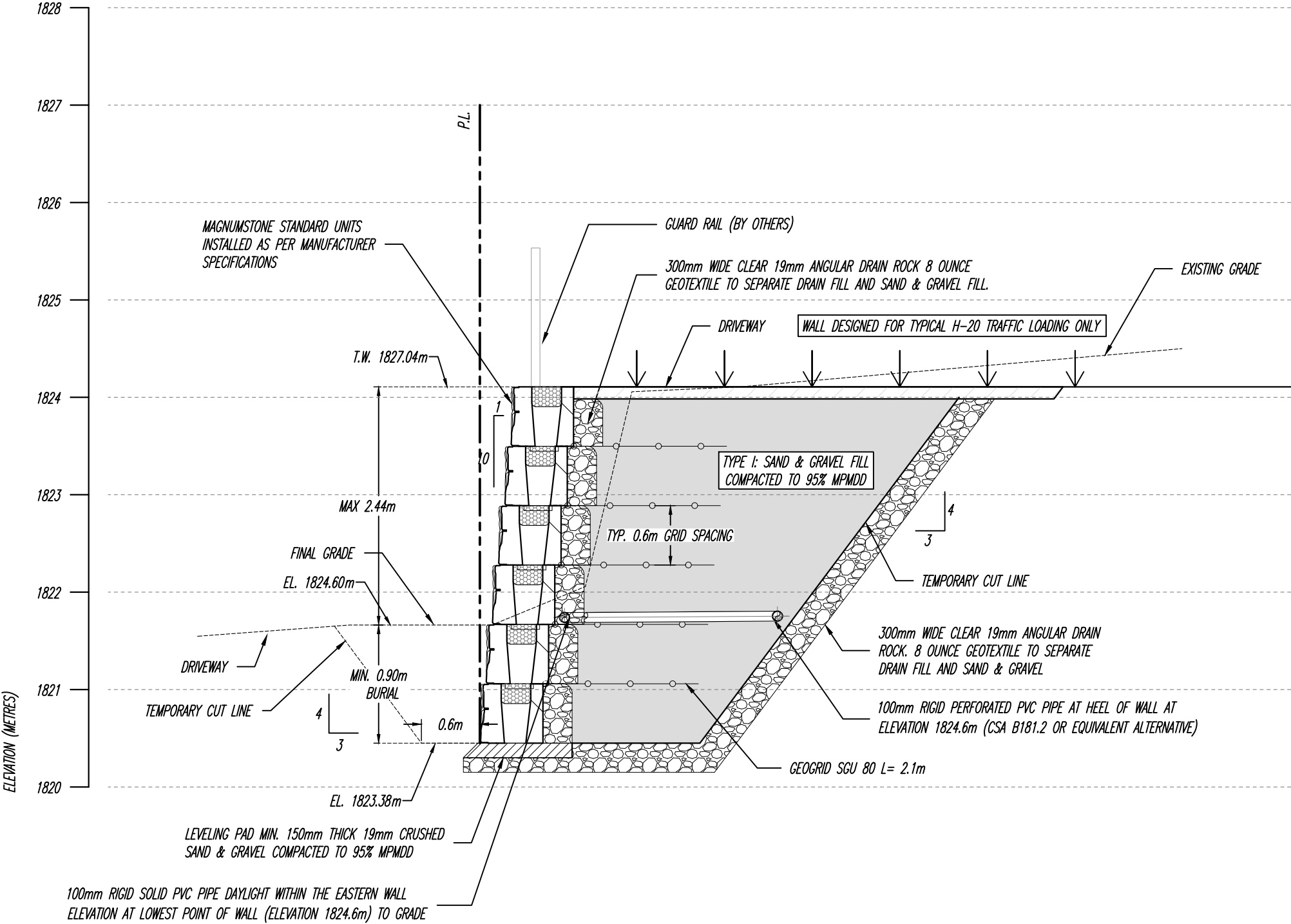
**LOT 23 MAGNUMSTONE RETAINING WALL**  
LOT 23, 765 FEATHERTOP WAY, BIG WHITE, BC  
MAGNUMSTONE LOCK BLOCK - ELEVATION

FILE NO.: 23486  
DWG. NO.: G-RW2  
REVISIONS:  
A. JUNE 08, 2024 - UPDATED WALL LOCATION  
B.  
C.





- NOTES:
- CONTRACTOR MUST COMPLETE UTILITY LOCATE TO AT LEAST 5.0m BEYOND WORKAREA IN ALL DIRECTIONS, PRIOR TO ANY EXCAVATION OR WALL CONSTRUCTION.
  - THE FIRST COURSE OF MAGNUMSTONE WALL SHALL BE PLACED ON LEVELING PAD.
  - GEOGRID COVERAGE RATIO TO BE 100%.
  - INSPECTION REQUIRED AS PER PART 5 OF DRAWING G-RW7.
  - GEOGRID TO BE MEASURED FROM THE FRONT FACE OF THE WALL.
  - INSTALL FIRST LAYER OF GEOGRID ON TOP OF 1st. BLOCK WITH SUBSEQUENT SPACING OF 0.61m OF EACH TIER.
  - TOE DRAIN TO DAYLIGHT AT LOWEST POINT OF WALL TO GRADE. DAYLIGHT LOCATION(S) MUST BE DETERMINED PRIOR CONSTRUCTION.
  - ELEVATION OF THE TOE DRAIN PIPE MAY BE ALTERED TO NO GRATER THAN 8-INCHES ABOVE FINAL GRADING AT TOE OF WALL TO ACCOUNT FOR DAYLIGHTING.
  - 100mm SOLID PVC CLEAN OUT RISER REQUIRED AT END OF TOE DRAIN OPPOSITE TO DAYLIGHT LOCATION.
  - FUTURE FOOTINGS, INCLUDING POOLS, NOT TO BE FOUNDED WITHIN/ABOVE A 1H:1V PROJECTION FROM THE BASE OF WALL.



LEGEND:

- TW 00.00 - PROPOSED TOP OF WALL ELEVATION
- BW 00.00 - PROPOSED BOTTOM OF WALL ELEVATION

SECTION A  
SCALE = 1:50

REFERENCE:  
SURVEY: RUNALLS DENBY  
FILE NO. 16684  
DATE: DECEMBER 23-2023 (RECEIVED)



DATE:	JANUARY 20, 2024		
DRAWN BY:	C.A.	APPROVED BY:	K.B.
		REVIEWED BY:	H.B.
SCALE:	AS SHOWN		

LOT 23 MAGNUMSTONE RETAINING WALL  
LOT 23, 765 FEATHERTOP WAY, BIG WHITE, BC  
MAGNUMSTONE LOCK BLOCK - SECTION

FILE NO.:	23486	REVISIONS:	
DWG. NO.:	G-RW3		A. JUNE 08, 2024 - UPDATED WALL LOCATION
			B.
			C.



Permit to Practice 1000782



## Electoral Area E/ West Boundary Advisory Planning Commission (APC) Staff Report

<b>RE:</b>	Development Permit – Cloutier (693-24D)		
<b>Date:</b>	August 6, 2024	<b>File #:</b>	2024-069 BW-4222-07500.715
<b>To:</b>	Members of the Electoral Area E/ West Boundary - Big White APC		
<b>From:</b>	Jordan Hallam, Planner		

### Issue Introduction

We received an application for a development permit amendment from Sid Molenaar on behalf of Michael Cloutier and Deborah Cloutier at 765 Feathertop Way, Big White Mountain, in Electoral Area E/ West Boundary (*see Attachments*).

Property Information	
<b>Owner(s):</b>	Michael Cloutier and Deborah Cloutier
<b>Agent:</b>	Sid Molenaar
<b>Location:</b>	765 Feathertop Way
<b>Electoral Area:</b>	Electoral Area E/ West Boundary
<b>Legal Description(s):</b>	Strata Lot 23, Plan KAS3134, District Lot 4222, SDYD
<b>Area:</b>	0.06ha (0.17ac)
<b>Current Use(s):</b>	Single Family Dwelling
Land Use Bylaws	
<b>OCP No. 1185:</b>	Medium Density Residential
<b>DP Area:</b>	Commercial and Multiple Family/ Alpine Environmentally Sensitive
<b>Zoning No. 1166:</b>	Chalet Residential 3 (R3)
Other	
<b>ALR:</b>	Outside ALR
<b>Waterfront/Floodplain:</b>	Not Mapped
<b>Water Service Area:</b>	Big White Utilities
<b>Sewer Service Area:</b>	Big White Utilities
<b>Planning Agreement Areas:</b>	N/A

### History / Background Information

The subject property is located approximately 1km north of the Happy Valley Day Lodge at Big White Mountain, in Electoral Area E/ West Boundary. It is



designated as Medium Density Residential in Big White Official Community Plan Bylaw No. 1125 and is zoned Chalet Residential (R3) in Big White Zoning Bylaw No. 1166, 2001. A single family dwelling was constructed on the property in 2022 (*See Attachment #2-Subject Property Map*).

To the north lies Big White Ski Resort. To the east lies a privately owned residential parcel. To the south lies common strata property. To the west lies privately owned vacant residential land (*See Attachment #1-Site Location Map*).

An Alpine Environmentally Sensitive Landscape Reclamation Development Permit (693-21D) was previously issued in July 2021 for a single family dwelling, and an amendment was issued to the original Development Permit (693A-21D) issued in September 2021. Subsequently, a Building Permit was issued in March 2022 to construct the single family dwelling. A Development Variance Permit has also applied for concurrently with this DP amendment application and has been provided to the APC in a separate report.

The Alpine Environmentally Sensitive Landscape Reclamation development permit area was designated for the protection of the natural environment, its ecosystems and biological diversity. While the subject property is located in the Commercial and Multiple Family Development Permit Area, it is exempt as it does not include a commercial development or a multi-family dwelling.

## **Proposal**

The applicant is requesting a development permit amendment, to amend development permit 693A-21D, which is required prior to building the proposed retaining wall. An amendment is required as the applicant is proposing to change the landscaping plan by removing landscaping at the front of the property in order to construct a retaining wall and widen the driveway (*See Attachment #3-Applicant's Submission Package*).

In support of the application, the applicant has provided a rationale letter, site plan, and building elevations (*See Attachment #3-Applicant's Submission Package*).

## **Implications**

The applicant intends to remove an existing boulder retaining wall and replace it with a magnumstone retaining wall that is approximately 12.2m long across the front property line, and 5.5m along the west property line. The plans show that the retaining wall will be a maximum of 2.44m in height. By doing so, ten (10) plants that were required to be planted according to development permit 693A-21D will be removed and replaced with asphalt driveway up to the retaining wall along the property lines.

### *Plant selection*

No plants are being planted or replaced at the front property line where the proposed retaining wall will be located.

#### *Snow storage*

Two snow storage areas are included and are not affected by the proposed retaining wall. One storage area is located on the south west side of the existing dwelling next to the garage. The other storage area is located on the north east side of the dwelling next to the stairs and entryway.

The single family dwelling has already been constructed, and the site reclaimed in compliance with the previously issued development permit.

### **Attachments**

- 1-Site Location Map
- 2-Subject Property Map
- 3-Applicant's Submission Package



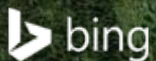
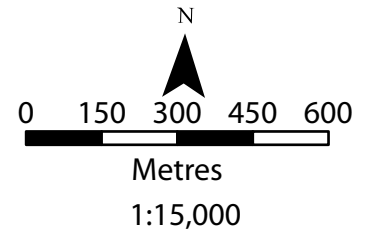


Regional District of  
Kootenay Boundary

Map Date: 2024-07-22

# Site Location Map

Strata Lot 23,  
PLAN KAS3134, DL 4222,  
SDYD



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Document Path: P:\PD\3200 Properties Titled\07 Area E (Big White)\BW-4222-07500.715 Cloutier\2024-068-DVP\Mapping\2024-07-22\_RoutineMaps\_BW-4222-07500.715.aprx



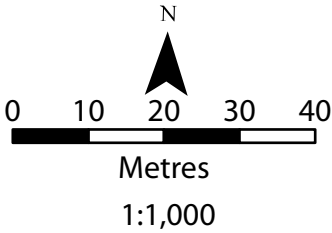


Regional District of  
Kootenay Boundary

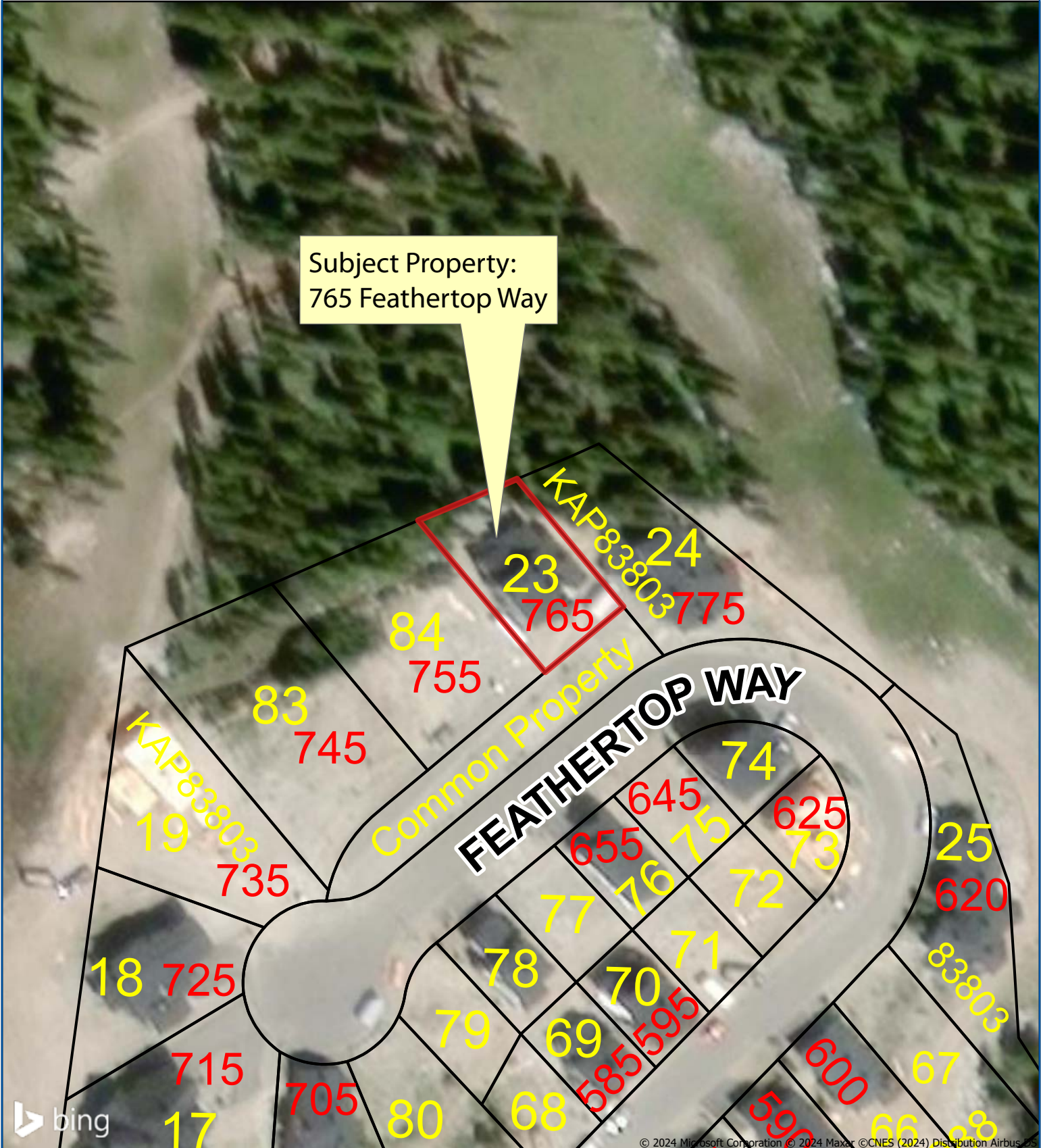
Map Date: 2024-07-22

# Subject Property Map

Strata Lot 23,  
PLAN KAS3134, DL 4222,  
SDYD



Subject Property:  
765 Feathertop Way





### Property Details:

Civic Address (s):	765 FeatherTop Way Big White
Road access (what road is driveway accessed from):	FeatherTop Lane
Parcel Identifier(s) (PID):	026-905-965
Full legal description (s) of land:	Strata Lot 23 Plan KAS3134, DL 4222, Legal Description: Together with an Interest in Common Property in Porportion to the Unit Entitlement of Strata.

### Site Disclosure Statement

**Schedule 2 uses are listed in B.C. Contaminated Sites Regulation 375/96.**

It a list of industries, operations and activities related to chemical, electrical equipment, metal smelting, processing or finishing, mining, milling, petroleum and natural gas drilling, production, processing, retailing and distribution, transportation, waste disposal and recycling, wood, pulp and paper products, and other miscellaneous or related industries and activities.

BC's Contaminated Site investigation requirements (initial applicable box):

<input type="radio"/>	Schedule 2 Uses have occurred on the property in the past (If so, Attach a Site Disclosure Statement)
<input checked="" type="radio"/>	Schedule 2 Uses have not occurred on the property in the past (Site Disclosure Statement is N/A)
<input type="radio"/>	Exempt from Site Disclosure Statement (OCP Amendment only, Development Variance Permit only, previous Ministry determination)

### Proposal Description:

**Required Section:** the space below is provided to describe the proposed development. Additional pages may be attached.

We request a development variance permit for our retaining wall at zero meters from 3 meters setback, on the west side of property line. Lot 23, 765 FeatherTop Way Big White.

~~An amendment to the development permit (693A-21D) is required as the proposal falls within the Alpine Environmentally Sensitive Landscape Reclamation Development Permit Area and is not in substantial compliance with the approved permit.~~

-The site plan shows the retaining wall at 0m on the west property line. The Zoning Bylaw requires a 3m interior setback.

The reason for request is our driveway is so steep and has such a short turning radius it is not functionable to park and walk to the front door / garage. Currently with a truck you need to a three point turn to enter driveway to garage. My wife slipped and broke her ankle in early December trying to get from the car to the garage door with some groceries.

This request would allow us to have a wider turning raduis( replacing the exiting boulder wall which runs along west property line with 0 setback with a enginnered magum block system) and to take out the steepness out of the driveway allowing longer distance to make grade. This would make it safer for our family and visitors to our chalet. Unfortunately at Big White you can not park on the strata roads. The retaing wall was enginnered by Geo Pacific Consultants Enginnering of Kelowna.



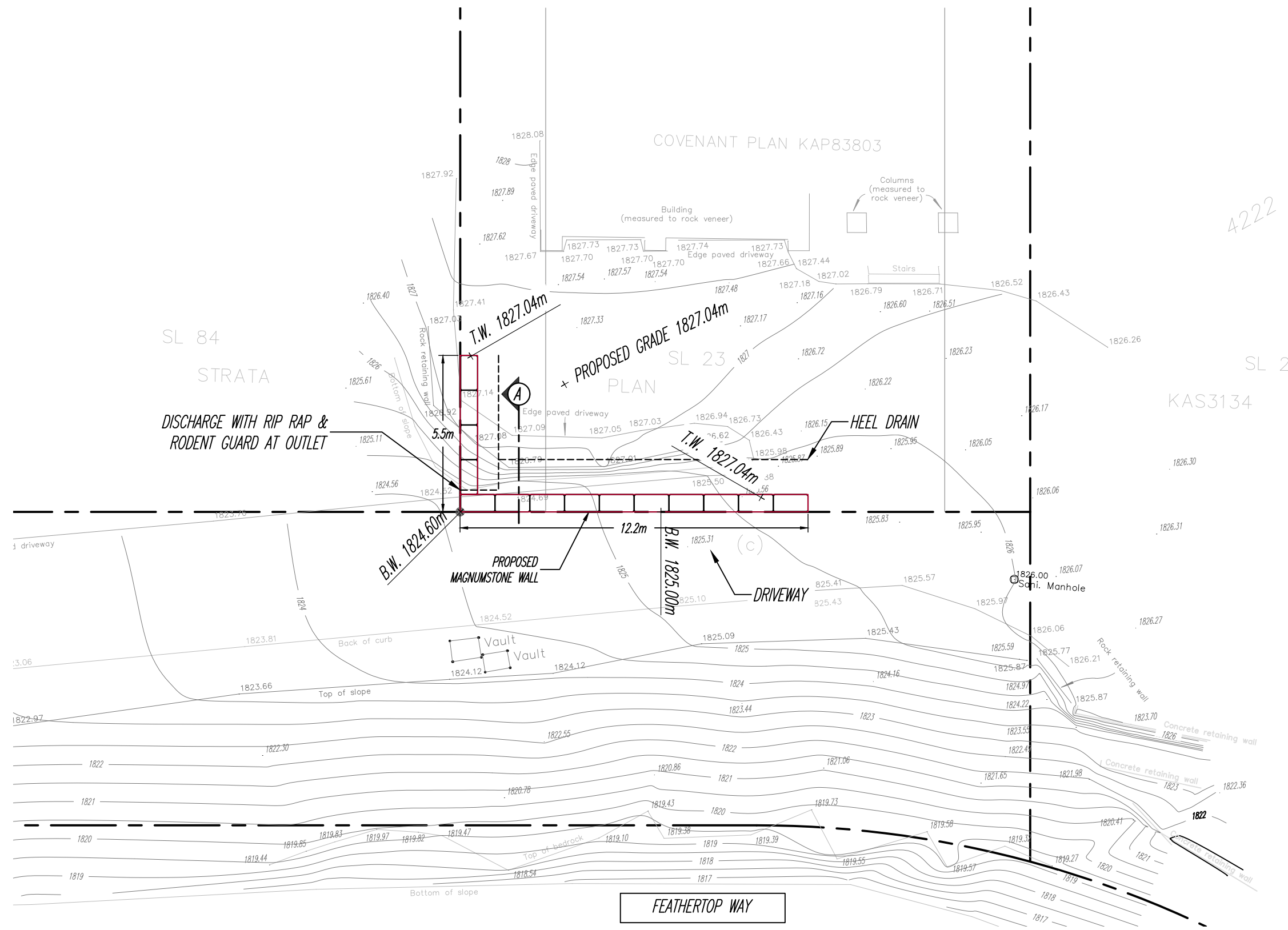
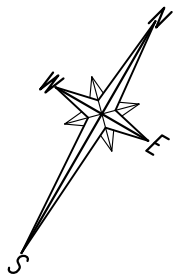


Landscape Rendering

PLANTING LIST	
	2 GALLON ARCTIC LUPIN (LUPINUS ARCTICUS) 2 REG.
	2 GALLON KARL FORESTER FEATHER REED 6 REG.
	5 GALLON BARBERRY (BERBERIS RUBY CAROUSEL) 5 REG.
	5 GALLON SHRUBBY CINQUEFOIL (POTENTILLA FRUTICOSA) 4 REG.
	2 GALLON KINNICKINICK (ARCTOSTAPHYLOS UVA-URSI) 2 REG.
	5' - 10' SPRUCE OR FIR TREE 4 REG.
	DISTURBED SITE COVERED WITH NATIVE GRASS AND FIELDFLOWER SEED MIX
<small>Drain Road Mix: Hard Coat Base, Joint Filler, Sand, Gravel, 1/2" Gravel, 1/4" Gravel, 1/8" Gravel, 1/16" Gravel, 1/32" Gravel, 1/64" Gravel, 1/128" Gravel, 1/256" Gravel, 1/512" Gravel, 1/1024" Gravel, 1/2048" Gravel, 1/4096" Gravel, 1/8192" Gravel, 1/16384" Gravel, 1/32768" Gravel, 1/65536" Gravel, 1/131072" Gravel, 1/262144" Gravel, 1/524288" Gravel, 1/1048576" Gravel, 1/2097152" Gravel, 1/4194304" Gravel, 1/8388608" Gravel, 1/16777216" Gravel, 1/33554432" Gravel, 1/67108864" Gravel, 1/134217728" Gravel, 1/268435456" Gravel, 1/536870912" Gravel, 1/1073741824" Gravel, 1/2147483648" Gravel, 1/4294967296" Gravel, 1/8589934592" Gravel, 1/17179869184" Gravel, 1/34359738368" Gravel, 1/68719476736" Gravel, 1/137438953472" Gravel, 1/274877906944" Gravel, 1/549755813888" Gravel, 1/1099511627776" Gravel, 1/2199023255552" Gravel, 1/4398046511104" Gravel, 1/8796093022208" Gravel, 1/17592186044416" Gravel, 1/35184372088832" Gravel, 1/70368744177664" Gravel, 1/140737488355328" Gravel, 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ISSUED FOR PERMIT



NOTES:  
-EXISTING STACKED ROCK RETAINING WALL TO BE REMOVED, PRIOR TO NEW WALL CONSTRUCTION.

- LEGEND:**
- PROPERTY LINE
  - TW 00.00 - PROPOSED TOP OF WALL ELEVATION
  - BW 00.00 - PROPOSED BOTTOM OF WALL ELEVATION
  - MAGNUMSTONE LOCK-BLOCK WALL LOCATION
  - ~ EXISTING CONTOURS
  - EXISTING SPOT ELEVATIONS

**SITE PLAN**  
SCALE = 1:150

REFERENCE:  
SURVEY: RUNALLS DENBY  
FILE NO. 16684  
DATE: DECEMBER 23-2023 (RECEIVED)



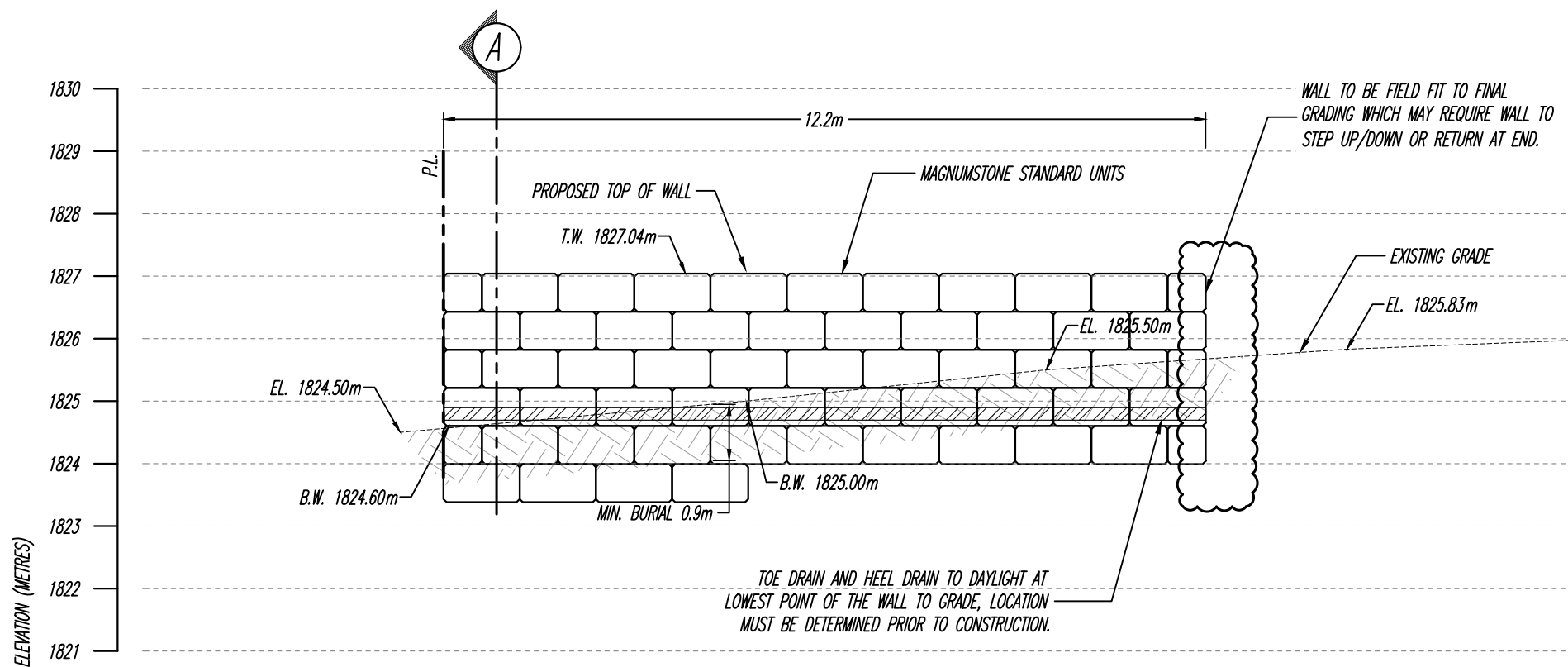
DATE: JANUARY 20, 2024  
DRAWN BY: C.A. APPROVED BY: K.B. REVIEWED BY: H.B.  
SCALE: AS SHOWN

**LOT 23 MAGNUMSTONE RETAINING WALL**  
LOT 23, 765 FEATHERTOP WAY, BIG WHITE, BC  
MAGNUMSTONE LOCK BLOCK - SITE PLAN

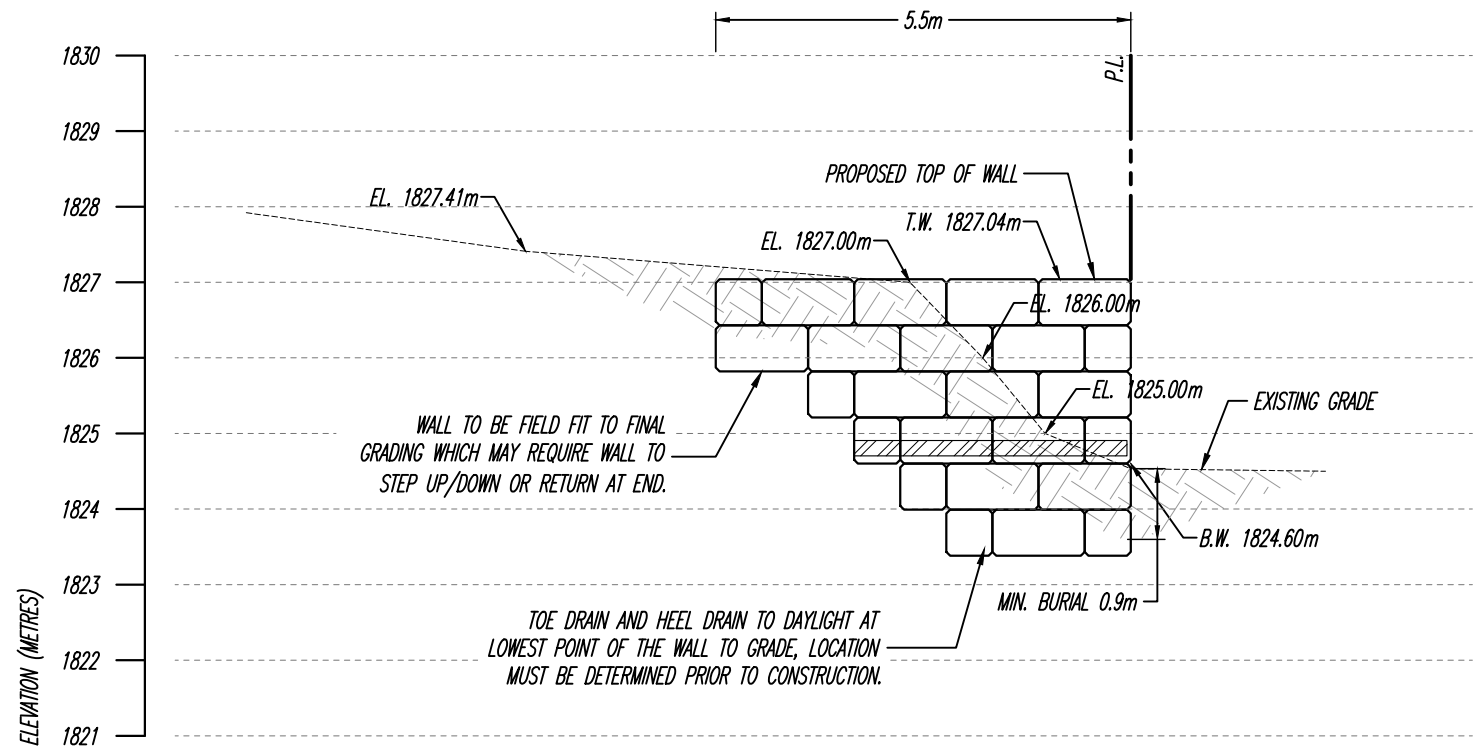
FILE NO.: 23486  
DWG. NO.: G-RW1

REVISIONS:  
A. JUNE 08, 2024 - UPDATED WALL LOCATION  
B.  
C.





**SOUTH WALL ELEVATION**  
SCALE = 1:100



**EAST WALL ELEVATION**  
SCALE = 1:100

**LEGEND:**  
TW 00.00 - PROPOSED TOP OF WALL ELEVATION  
BW 00.00 - PROPOSED BOTTOM OF WALL ELEVATION

REFERENCE:  
SURVEY: RUNALLS DENBY  
FILE NO. 16684  
DATE: DECEMBER 23-2023 (RECEIVED)



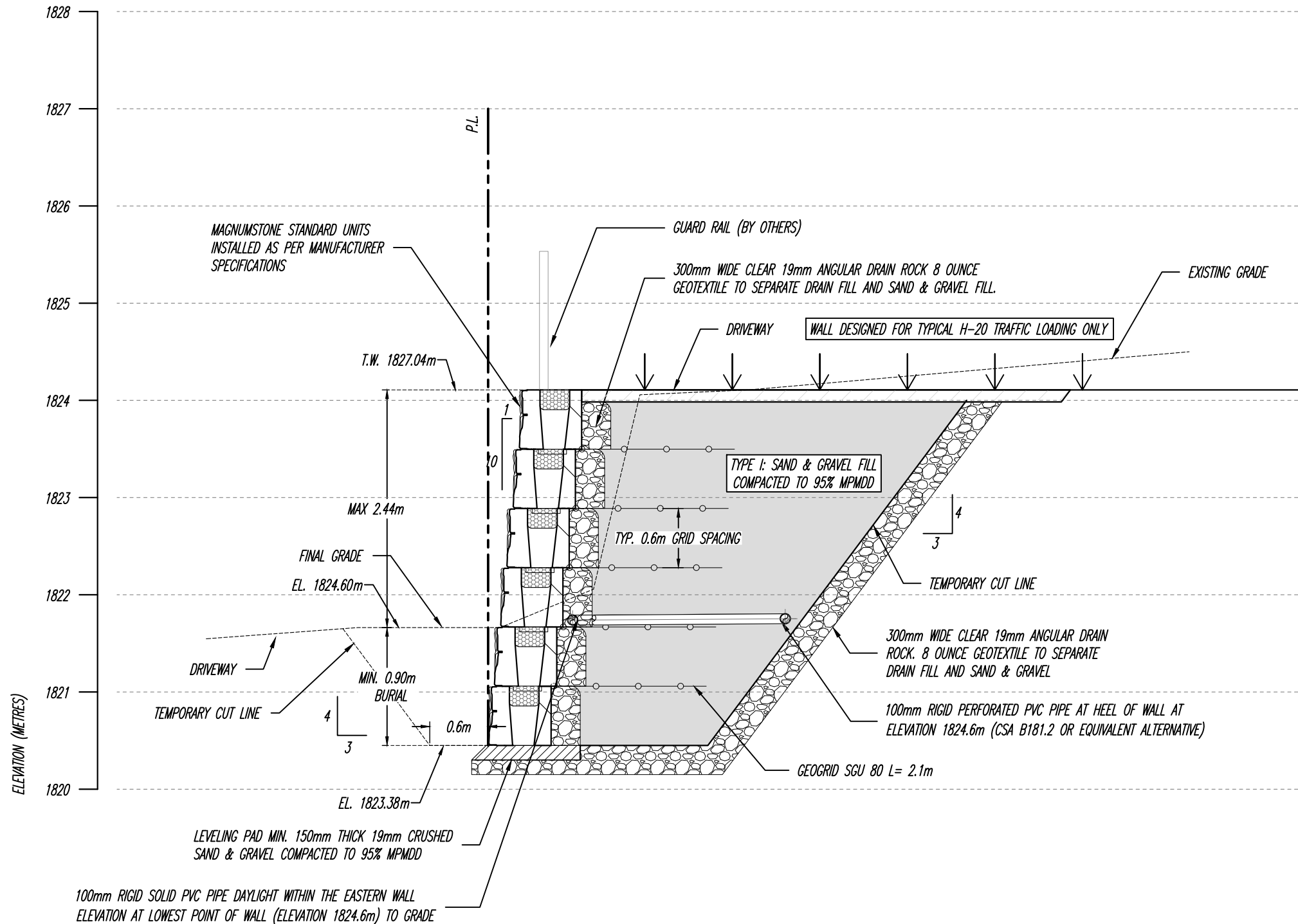
DATE: JANUARY 20, 2024  
DRAWN BY: C.A. APPROVED BY: K.B. REVIEWED BY: H.B.  
SCALE: AS SHOWN

**LOT 23 MAGNUMSTONE RETAINING WALL**  
LOT 23, 765 FEATHERTOP WAY, BIG WHITE, BC  
MAGNUMSTONE LOCK BLOCK - ELEVATION

FILE NO.: 23486  
DWG. NO.: G-RW2  
REVISIONS:  
A. JUNE 08, 2024 - UPDATED WALL LOCATION  
B.  
C.







- NOTES:
- CONTRACTOR MUST COMPLETE UTILITY LOCATE TO AT LEAST 5.0m BEYOND WORKAREA IN ALL DIRECTIONS, PRIOR TO ANY EXCAVATION OR WALL CONSTRUCTION.
  - THE FIRST COURSE OF MAGNUMSTONE WALL SHALL BE PLACED ON LEVELING PAD.
  - GEOGRID COVERAGE RATIO TO BE 100%.
  - INSPECTION REQUIRED AS PER PART 5 OF DRAWING G-RW7.
  - GEOGRID TO BE MEASURED FROM THE FRONT FACE OF THE WALL.
  - INSTALL FIRST LAYER OF GEOGRID ON TOP OF 1st. BLOCK WITH SUBSEQUENT SPACING OF 0.61m OF EACH TIER.
  - TOE DRAIN TO DAYLIGHT AT LOWEST POINT OF WALL TO GRADE. DAYLIGHT LOCATION(S) MUST BE DETERMINED PRIOR CONSTRUCTION.
  - ELEVATION OF THE TOE DRAIN PIPE MAY BE ALTERED TO NO GRATER THAN 8-INCHES ABOVE FINAL GRADING AT TOE OF WALL TO ACCOUNT FOR DAYLIGHTING.
  - 100mm SOLID PVC CLEAN OUT RISER REQUIRED AT END OF TOE DRAIN OPPOSITE TO DAYLIGHT LOCATION.
  - FUTURE FOOTINGS, INCLUDING POOLS, NOT TO BE FOUNDED WITHIN/ABOVE A 1H:1V PROJECTION FROM THE BASE OF WALL.

LEGEND:

- TW 00.00 - PROPOSED TOP OF WALL ELEVATION  
BW 00.00 - PROPOSED BOTTOM OF WALL ELEVATION

SECTION A

SCALE = 1:50

REFERENCE:  
SURVEY: RUNALLS DENBY  
FILE NO. 16684  
DATE: DECEMBER 23-2023 (RECEIVED)



DATE:	JANUARY 20, 2024		
DRAWN BY:	C.A.	APPROVED BY:	K.B.
		REVIEWED BY:	H.B.
SCALE:	AS SHOWN		

LOT 23 MAGNUMSTONE RETAINING WALL  
LOT 23, 765 FEATHERTOP WAY, BIG WHITE, BC  
MAGNUMSTONE LOCK BLOCK - SECTION

FILE NO.:	23486	REVISIONS:	
DWG. NO.:	G-RW3		A. JUNE 08, 2024 - UPDATED WALL LOCATION
			B.
			C.



Permit to Practice 1000782



## Electoral Area E/ West Boundary-Big White Advisory Planning Commission (APC) Staff Report

<b>RE:</b>	Staff Response -Penalty for burning		
<b>Date:</b>	August 6, 2024	<b>File #:</b>	6440
<b>To:</b>	Members of the Electoral Area E/ West Boundary - Big White APC		
<b>From:</b>	JoAnn Peachey, Current Planning Supervisor		

### Issue Introduction

At the Big White APC's June 3, 2024 meeting, the APC asked if someone from the RDKB can provide information as to the penalty for burning construction waste at Big White.

### Background

The RDKB does not have a bylaw to regulate burning. The public must follow Provincial legislation, which prohibits burning of garbage and construction waste unless specifically authorized.

Big White's Official Community Plan (OCP) does not speak to burning specifically. There are Fire Protection objectives and policies to support fire protection services and reduce risk of fire (Section 3.7); however, these do not address individuals burning items like construction waste, trees and other debris.

Development permit guidelines ensure that landscape reclamation plans consider threat of wildfire and, for commercial and multiple family, appropriate fire-truck/emergency vehicle access. Further, it is a standard condition of development permits at Big White for permittee's to remove construction debris.

### Implications

As there are no local bylaws in effect that would prevent burning of construction waste and other debris, there is no penalty imposed by the RDKB for such activities. Any violators of Provincial burning regulations should be reported to the Report All Polluters and Poachers line (RAPP) at 1-877-952-7277. Reports can also be made online at [forms.gov.bc.ca/environment/rapp](https://forms.gov.bc.ca/environment/rapp).

As Big White's OCP is under review, developing policies around burning could be explored further as part of the review process.





## Electoral Area E/ West Boundary-Big White Advisory Planning Commission (APC) Staff Report

<b>RE:</b>	APC Guide - Updates		
<b>Date:</b>	August 6, 2024	<b>File #:</b>	0360-01
<b>To:</b>	Members of the Electoral Area E/ West Boundary - Big White APC		
<b>From:</b>	JoAnn Peachey, Current Planning Supervisor		

### Issue Introduction

All members of the APC receive an APC Guide upon appointment, as part of an introduction package to the APC. This guide is meant to provide guidance to members to understand various roles and responsibilities.

It was brought to staff's attention that there were certain subjects not included in the APC Guide. As such, staff has incorporated changes into a revised APC Guide (*See Attachment #1-APC Guide*).

Of note, there are additions to the Guide to reflect existing practices and ensure all APC members are aware of them:

- **Appropriate Conduct** - As a Commission established by the Board of Directors, all members of the APC are expected to act appropriately during meetings and be respectful to all participants. If any person acts improperly during a meeting (such as bullying, harassment, or being disruptive), the Chair presiding over the meeting may order that person to leave the meeting.
- **Recording Dissenting Votes** - Members that vote against a motion may have their name recorded into the minutes, if requested.
- **Site Visits/Trespassing** - APC members do not have permission to enter onto private property, regardless of whether an application has been referred to the APC or not. APC members can view a property from a public road or other public access; however, APC members are not to enter onto private land without explicit permission to do so.

### Attachments

1-APC Guide

# Guide For Advisory Planning Commission (APC) Members



Regional District of  
Kootenay Boundary

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This guide has been prepared to provide information to Regional District of Kootenay Boundary (RDKB) Advisory Planning Commission (APC) members on their role in planning matters considered by the RDKB.

## What is an APC?

An APC is a group of individuals that are appointed by the RDKB Board of Directors. Members are chosen to represent a variety of community interests. Appointments are made in January of each year and last for one year. Many APC members are appointed several years in a row.

APC members may not be employees of the RDKB or a member of the Board of Directors and are volunteers.

The RDKB has six APCs:

- Electoral Area A,
- Electoral Area B/Lower Columbia-Old Glory,
- Electoral Area C/Christina Lake,
- Electoral Area D/Rural Grand Forks,
- Electoral Area E West Boundary, and
- Electoral Area E/West Boundary - Big White.

The number of members on each APC can range from 3 to 14.

Each APC must elect a Chair and a Secretary at their first meeting of the year. APCs may also choose to elect a Vice-Chair to help ensure continuity in the absence of the Chair. The creation of APC's and appointment of members is done according to Section 461 of the *Local Government Act* and the Regional District's Bylaw No. 1535.

## Role of the APC

APCs are a valuable component of the application and referral process of the Planning and Development Department. The APC's role is to review applications and referrals received by the RDKB Planning and Development Department; and to provide recommendations prior to staff forwarding those items to RDKB Board members or delegated staff for decisions.

The Director for the Electoral Area attends meetings in a resource capacity and to hear comments and discussion related to referrals and applications first hand.

APCs provide practical local information that is useful to planning staff and the Board of Directors for Regional District applications and to other agencies such as the Province or others who refer items to us.

## Meeting Procedures

Meetings of the APC are open to the public and therefore must be held in locations that are accessible to all. Applicants are welcome to attend meetings to answer any questions members may have with regard to their applications or referrals. Voting on matters considered by APC



members must be open, therefore 'secret' ballots or in-camera meetings are not permitted.

As a Commission established by the Board of Directors all members of the APC are expected to act appropriately during meetings and be respectful to all participants. If any person acts improperly during a meeting (such as bullying, harassment, or being disruptive), the Chair presiding over the meeting may order that person to leave the meeting.

The majority of APC members must be present for quorum; that is in order for a meeting to be considered valid. Recommendations that go to a vote must be supported by the majority of members present at a meeting. Members that vote against a motion may have their name recorded into the minutes, if requested. Only minutes from meetings with quorum will be forwarded to the Board of Directors for consideration. Meeting notes from non-quorum meetings may be included in staff reports.

## **Meeting Schedule**

APCs meet monthly, with the exception of December, provided there are applications or referrals to consider. Generally meetings are scheduled during the first week or last week of the month in the evening. Staff reports are forwarded to APC members at least one week prior to the meeting date to give members an opportunity to review the reports. Please let staff know if you think your agenda package is missing any items or if you have questions about an agenda item. Each mail-out package includes an agenda, which lists the items that should be attached.

Meetings will be cancelled if there is no business to discuss at the discretion of the Chair.

## **Participation by Members of the Public**

While members of the public are entitled to attend APC meetings, the meetings are not intended to be public hearing forums. Opportunities for public input to the RDKB Board of Directors may be provided elsewhere in the application review process. From time to time, issues at APC meetings may attract public interest and members of the public may attend and want to speak at APC meetings. The decision to allow or not allow a member of the public to speak rests with the APC Chair. Regardless of the Chair's decision, the public should always be advised that the APC is an advisory body and does not make decisions.

## **Role of the Chair**

In addition to being a member of the APC, the Chair is tasked with conducting meetings in a fair and effective manner. The Chair should also continue to be an active participant during meetings. The following are some guidelines that may assist in carrying out the duties of a Chair:

1. Commits to the position and recognizes the time it takes.
2. Knows and has interest in the RDKB and understands the process we follow in planning and land use management decision making.
3. Exhibits leadership and develops collaborations in an open and fair manner.
4. Ensures that discussions at meetings focus on the issue at hand and the facts.
5. Seeks out and identifies members who do not actively participate in meetings to balance the views of more assertive members.
6. Adheres to strict ethical standards. As the Chair of a public group, ethical standards must be followed so that discrimination and harassment do not occur.

## **Role of the Secretary**

The secretary is responsible for recording the minutes at each APC meeting and submitting minutes to the Planning and Development Department. A 'minutes' template is available to assist in recording minutes. The recording secretary should also continue to be an active participant during meetings. The content requirements of APC minutes are generally as follows:

- ## Conflict of Interest and Bias

It is therefore up to individual members to decide if they should recuse themselves from a discussion regarding an application or referral. This would likely be appropriate where the member has a pecuniary interest in an item on the agenda.

## Site Visits & Trespassing

## APC Member Contact Information

## Interactive Mapping

By logging in as a guest, members of the public can zoom to areas or individual parcels to obtain details regarding zoning, floodplain areas, street addresses, Agricultural Land Reserve (ALR) boundaries and air photo layers, among other things.





## Types of Applications and Referrals

After review by the relevant APC, applications and referrals follow the process outlined below:

	Type of Application or Referral	Process	
<b>Applications to the Regional District</b>	Official Community Plan (OCP) and Zoning Bylaw amendments	To Electoral Area Services (EAS) Committee for recommendation.	To Board for consideration. Bylaw readings and may require a public hearing.
	Development Variance Permits, Temporary Use Permits and Floodplain Exemptions	To EAS Committee for recommendation.	To Board for consideration.
	Development Permits	Approved by staff member with delegated authority (by bylaw).	
<b>Referrals from External Agencies</b>	<ul style="list-style-type: none"> <li>• Subdivisions involving parkland dedication</li> <li>• Agricultural Land Reserve (subdivision in the ALR, non-adhering residential use, and non-farm use)</li> <li>• Mining proposals</li> <li>• Crown land disposition or tenure</li> <li>• Forest cutting permits</li> <li>• Recreation use</li> <li>• LCRB Liquor Primary or Cannabis Retail</li> </ul>	To Board for consideration.	

## Planning and Development Department Staff Members

James Chandler – <a href="mailto:jchandler@rdkb.com">jchandler@rdkb.com</a>	GM of Operations/Deputy CAO
Donna Dean - <a href="mailto:ddean@rdkb.com">ddean@rdkb.com</a>	Manager of Planning and Development
JoAnn Peachey- <a href="mailto:currentplanningsupervisor@rdkb.com">currentplanningsupervisor@rdkb.com</a>	Current Planning Supervisor
Elizabeth Moore - <a href="mailto:srplanner@rdkb.com">srplanner@rdkb.com</a>	Senior Planner
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Heather Potter – <a href="mailto:gis@rdkb.com">gis@rdkb.com</a>	Senior Planning Technician
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Maria Ciardullo – <a href="mailto:plandept@rdkb.com">plandept@rdkb.com</a>	Senior Secretary
Jennifer Kuhn – <a href="mailto:plandept@rdkb.com">plandept@rdkb.com</a>	Secretary/Bylaw Clerk
Mauro Chiocchetti – <a href="mailto:mchiocchetti@rdkb.com">mchiocchetti@rdkb.com</a>	Bylaw Enforcement Officer
Tina Lockhart – <a href="mailto:tlockhart@rdkb.com">tlockhart@rdkb.com</a>	Bylaw Enforcement Officer